Site Plans

Local Approvals Issued for Date Issued April 15, 2016 April 15, 2016 Latest Issue

Northside Meadows: Assisted Living Facility

518 Pleasant Street Framingham, Massachusetts

Owner

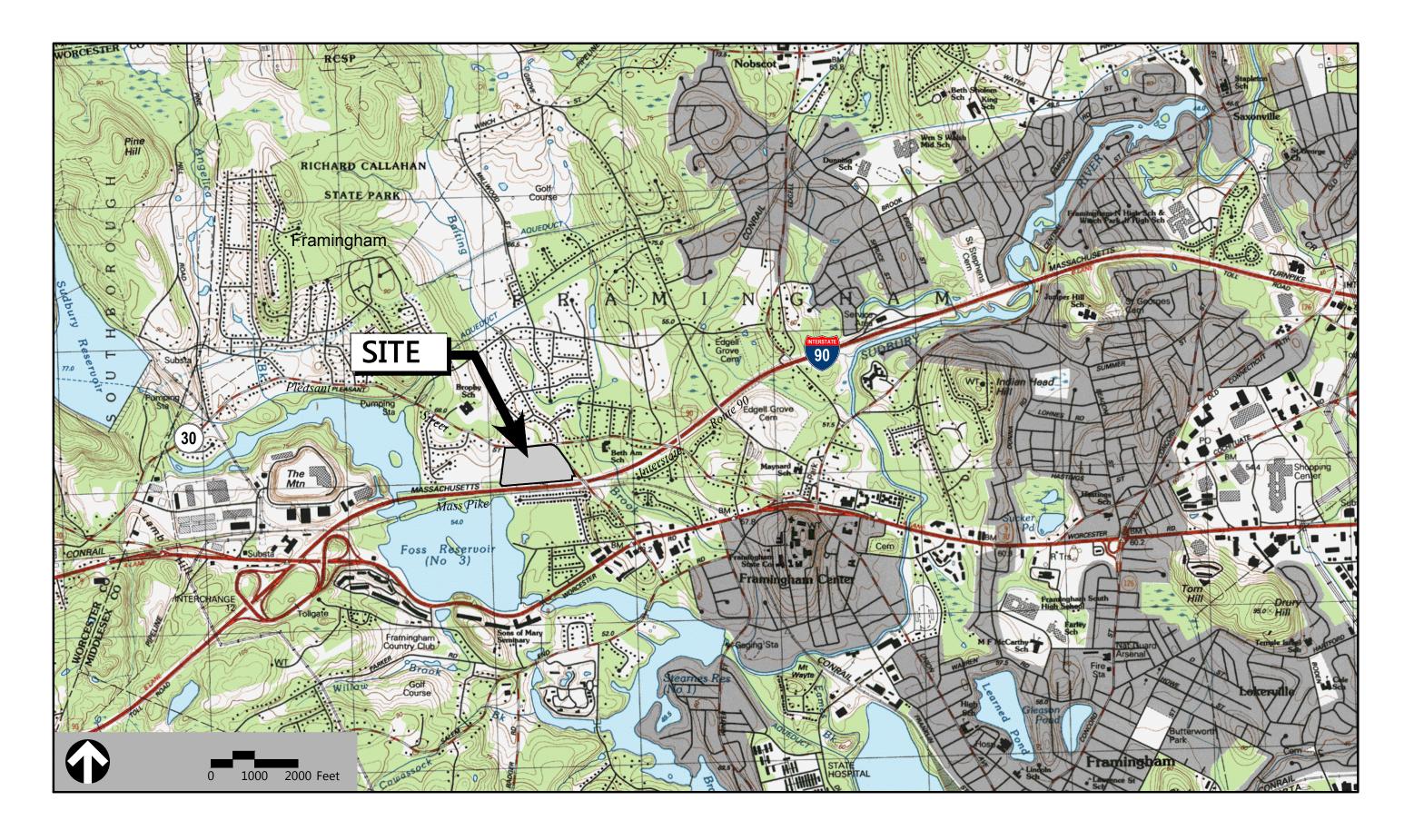
Brendon Properties Northside Meadows, LLC 259 Turnpike Road Suite 110 Southborough, Massachusetts 01772

Applicant

Benchmark Senior Living 201 Jones Road - Third Floor West Waltham, Massachusetts 02451

Assessor's Map: 458

Block: 6 Lot: 4



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	Reference Drawings			
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6				



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Architect

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Geotechnical

PO Box 9151

617.924.1770

Watertown, MA 02471

GeoInsight 186 Granite Street Manchester, NH 03101-2643

ACCESSIBLE CURB RAMP

VAN-ACCESSIBLE PARKING

ACCESSIBLE PARKING

Legend

Abbreviations

Genera

ABANDON

ACCESSIBLE CURB RAMP

APPROX APPROXIMATE

BITUMINOUS

ADJUST

BOTTOM OF SLOPE

BROKEN WHITE LANE LINE

CONCRETE

DOUBLE YELLOW CENTER LINE

ELEVATION ELEVATION

EXIST EXISTING

FOUNDATION

FIRST FLOOR ELEVATION

GRANITE

GRADE TO DRAIN

LIMIT OF DISTURBANCE

MAXIMUM

LANDSCAPE AREA

MINIMUM

NOT IN CONTRACT

NOT TO SCALE PERFORATED

PROP PROPOSED

REMOVE

REMOVE AND DISPOSE

REMOVE AND RESET

SOLID WHITE EDGE LINE SOLID WHITE LANE LINE

TOP OF SLOPE

TYPICAL

CATCH BASIN

CORRUGATED METAL PIPE

CLEANOUT

DOUBLE CATCH BASIN

DRAIN MANHOLE

CAST IRON PIPE

CONDUIT

DUCTILE IRON PIPE

FLARED END SECTION

FORCE MAIN

FRAME AND GRATE

GUTTER INLET

GREASE TRAP

HIGH DENSITY POLYETHYLENE PIPE

HANDHOLE HEADWALL

HYDRANT

INVERT ELEVATION

INVERT ELEVATION

LIGHT POLE

METAL END SECTION PAVED WATER WAY

POLYVINYLCHLORIDE PIPE

POST INDICATOR VALVE

REINFORCED CONCRETE PIPE

RIM ELEVATION

TAPPING SLEEVE, VALVE AND BOX

UNDERGROUND

UTILITY POLE

SEWER MANHOLE

Notes:

1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE

2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION

4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES

(BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE SIX INCHES LOAM AND SEED.

5. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM

EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.

DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.

3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE

STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.

CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH

6. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK

7. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS

8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC

SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S

ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY,

OR OTHER EVIDENCE. THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT

MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER

IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.

RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.

14. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES

11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE

12. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO

13. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE

IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF

CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF

CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A

REPRESENTATION ONLY. THE OWNER OR IT'S REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED

GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES,

NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT

CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES,

AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND. SHALL CONFIRM

WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING

WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE

COLLECTION MUST BE INSPECTED BY A DEPARTMENT OF PUBLIC WORKS UTILITY INSPECTOR. TO

WATER, AND SANITARY SEWER WORK OUTSIDE OF A BUILDING FOOTPRINT SHALL BE PERFORMED BY

SCHEDULE A PRE-CONSTRUCTION MEETING, CONTACT THE TOWN OF FRAMINGHAM ENGINEERING

DIVISION AT (508) 532-6010 48 HOURS PRIOR TO THE START OF WORK. ALL SITE DRAINAGE,

4. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH

5. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND

C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE

5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE

FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.

7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:

UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND

POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE,

FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR

A. WATER MAINS SHALL BE DUCTILE IRON CLASS 52 OR GREATER. WATER SERVICE PIPES SHALL BE

B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 SEWER PIPE OR GREATER

CONCRETE PIPE (RCP) WHERE SHALLOW COVER EXISTS OR REQUIRED BY TOWN OF FRAMINGHAM

C. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) OR REINFORCED

D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE

8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION. INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL

9. CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS

APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO

BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY

10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM

NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR

ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.

3. ALL WORK WITHIN PUBLIC WAYS AND ASSOCIATED WITH WATER DISTRIBUTION AND SEWAGE

THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES,

INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED

OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO

STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS.

THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE

THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT

THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING

INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.

A LICENSED FRAMINGHAM DRAINLAYER.

SHALL BE SET/RESET AS FOLLOWS:

OR BY THE UTILITIES COMPANY.

DEPARTMENT OF PUBLIC WORKS.

AND AS INDICATED ON THE DRAWINGS.

COMPANY'S REQUIREMENTS.

DIAMETER SHALL BE 5 FEET.

ELEVATIONS ON THE GRADING AND UTILITY PLANS.

A. PAVEMENTS AND CONCRETE SURFACES: FLUSH

B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH

TYPE K COPPER AND FITTINGS SHALL BE LEAD FREE.

SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.

CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.

9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS

10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE

THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT

WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY

AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH

EXCAVATING.

APPROPRIATE PERMITS.

ADDITIONAL COST TO OWNER.

ANY, AT NO COST TO OWNER.

Layout and Materials

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- 2. CURB RADII ARE FIVE (5) FEET UNLESS OTHERWISE NOTED.
- 3. CURBING SHALL BE BITUMINOUS BERM (BB) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE
- 4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO
- 7. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT
- DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

- 1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY
- 4 THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE
- 5. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

- CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWELVE HOURS AFTER EACH STORM EVENT AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER
- CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION
- 4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.
- PLEASANT STREET FRAMINGHAM, MASSACHUSETTS BY KELLY ENGINEERING GROUP, INC DATED
- APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). 2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NGVD OF 1929.
- 6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR

1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT

FRAMINGHAM PLANNING BOARD **DEFINITIVE DEVELOPMENT PLAN APPROVALS**

101 Walnut Street

Watertown, MA 02471

PO Box 9151

617.924.1770

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE **DETERMINATION OF CONFORMANCE WITH** ZONING REGULATIONS.

Northside Meadows: Assisted Living Facility

518 Pleasant Street Framingham, Massachusetts

MEO JWD April 15, 2016 Local Approvals

Not Approved for Construction

Legend and **General Notes**



13168.00

Drawing Number

5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.

PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

8. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND

- LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE
- 3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

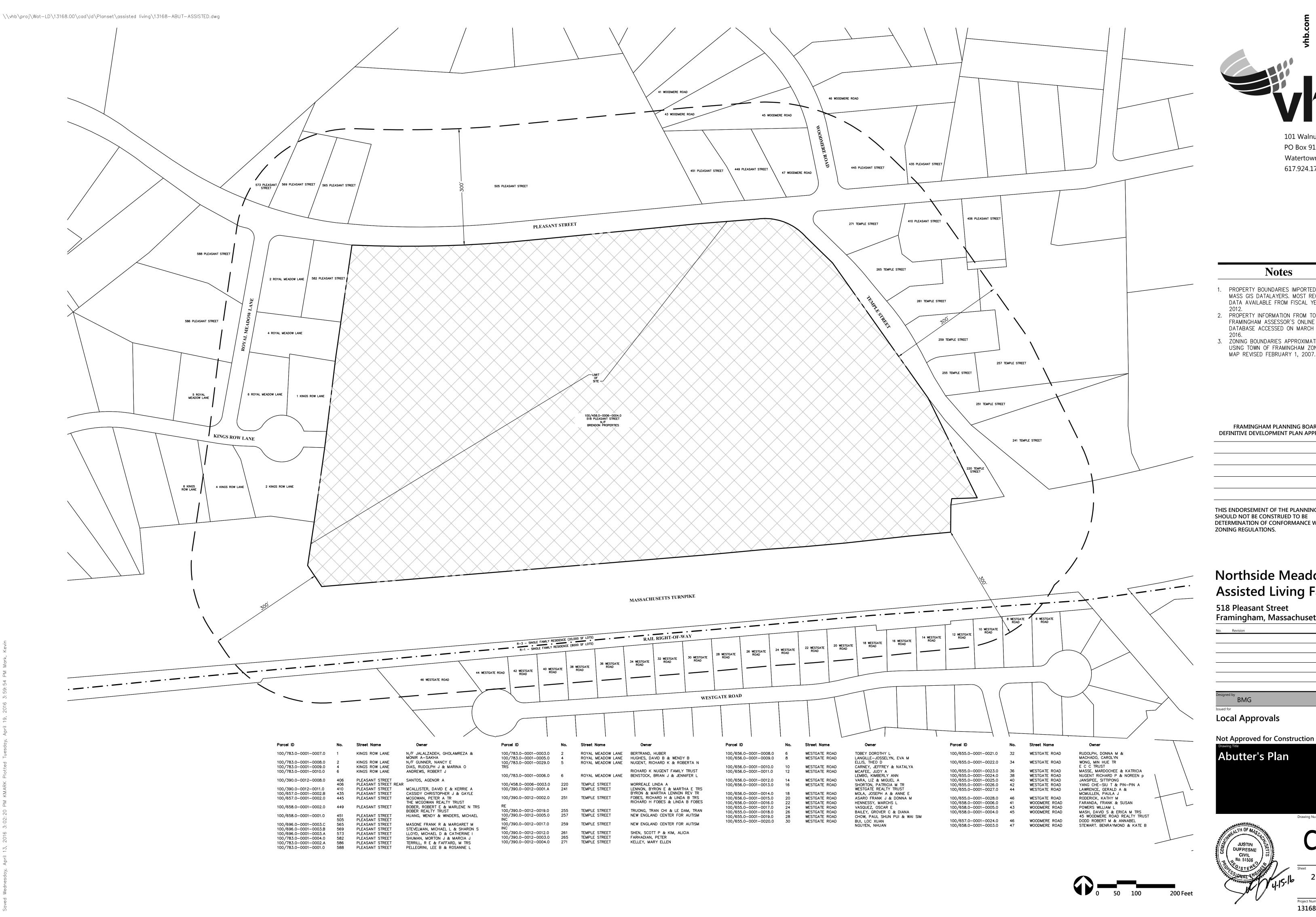
- 1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL FROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- DRAINAGE STRUCTURES AND PROTECTED AREAS.
- IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- 5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER,

Existing Conditions Information

- 1. BASE PLAN: REFER TO THE EXISTING CONDITIONS PLAN SHEETS 1-3 PREPARED FOR 518
- A. DELINEATION OF THE WETLANDS AND PLACEMENT OF THE FLAGS WAS PERFORMED BY ECOTEC, INC. IN APRIL OF 2013 AND NOVEMBER 2015.
- 3. GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM GEOINSIGHT.

Document Use

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101 Walnut Street

Watertown, MA 02471

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Notes

- 1. PROPERTY BOUNDARIES IMPORTED FROM MASS GIS DATALAYERS. MOST RECENT DATA AVAILABLE FROM FISCAL YEAR
- 2. PROPERTY INFORMATION FROM TOWN OF FRAMINGHAM ASSESSOR'S ONLINE DATABASE ACCESSED ON MARCH 10,
- 3. ZONING BOUNDARIES APPROXIMATED USING TOWN OF FRAMINGHAM ZONING MAP REVISED FEBRUARY 1, 2007.

FRAMINGHAM PLANNING BOARD **DEFINITIVE DEVELOPMENT PLAN APPROVALS**

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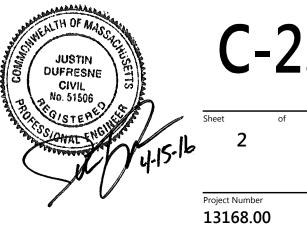
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518 Pleasant Street Framingham, Massachusetts

Checked by JWD

April 15, 2016 **Local Approvals**







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MEO

April 15, 2016 **Local Approvals**

Not Approved for Construction

Master Site Plan



13168.00

Town Notes

ISOLATED VEGETATED WETLANDS UNDER BYLAW

STONE BOUND W/ DRILL HOLE

1. SIGNS, LANDSCAPING AND OTHER FEATURES LOCATED WITHIN THE SIGHT TRIANGLE AREAS SHALL BE DESIGNED, INSTALLED AND MAINTAINED SO AS NOT TO EXCEED 2.5 FEET IN HEIGHT. SNOW WINDROWS LOCATED WITHIN THE SIGHT TRIANGLE AREAS THAT EXCEED 2.5 FEET IN HEIGHT OR THAT WOULD OTHERWISE INHIBIT SIGHT LINES SHALL BE PROMPTLY REMOVED.

_125' VERNAL POOL BUFFER ZONE UNDER BYLAW

Parking Summary Chart ^[1]				
escription		Description		
ANDARD SPACES (TYPIC	AL)	9' x 18' & 10' x 18' END STALLS		
RALLEL SPACES	9' x 24'			
escription	Description			
SISTED LIVING & NGREGATE LIVING	1 SPACE PER DWELLING UNIT 1 SPACE PER EMPLOYEE			
USING	52 UNITS @ 1 SPACE / UNIT = 52 SPACES 30 EMPLOYEES @ 1 SPACE / EMPLOYEE = 30 SPACES			
	TOTAL REQUIRED = 82 SPACES	TOTAL PROVIDED = 62 SPACES		

^[1] ACCESSIBLE SPACES SHALL BE PROVIDED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS.

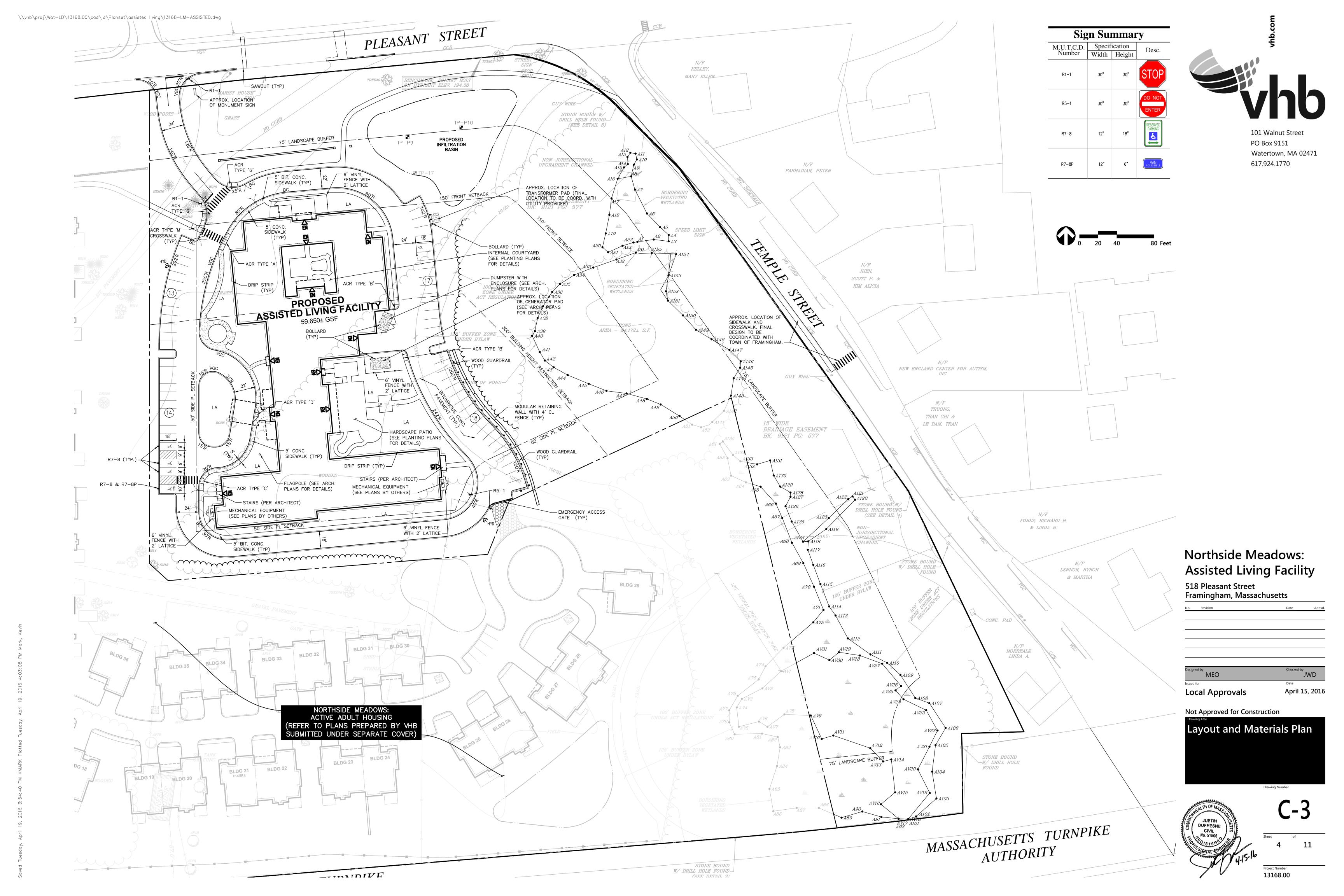
Zoning Summary Chart (Assisted Living and Congregate Living Housing)

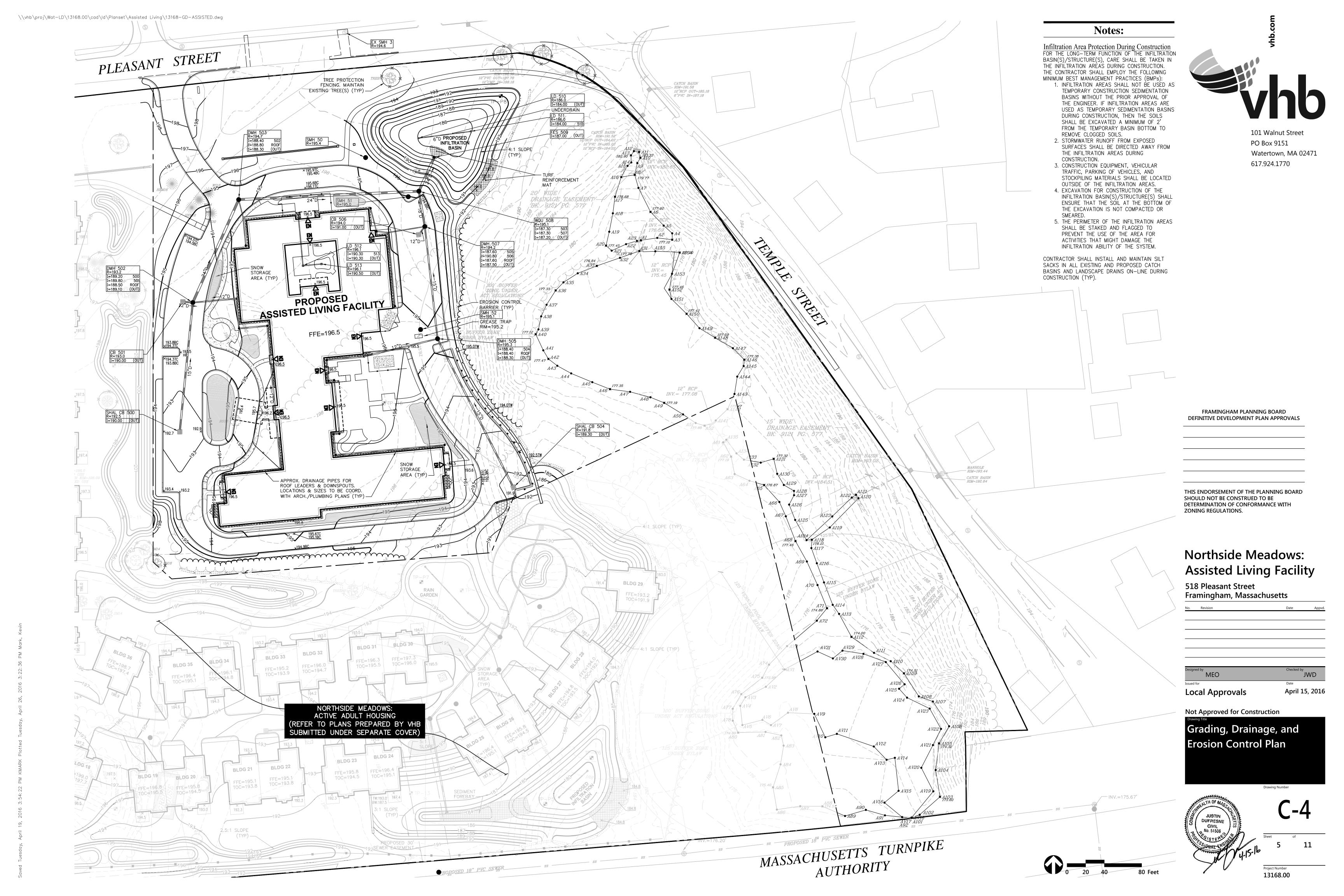
STONE BOUND

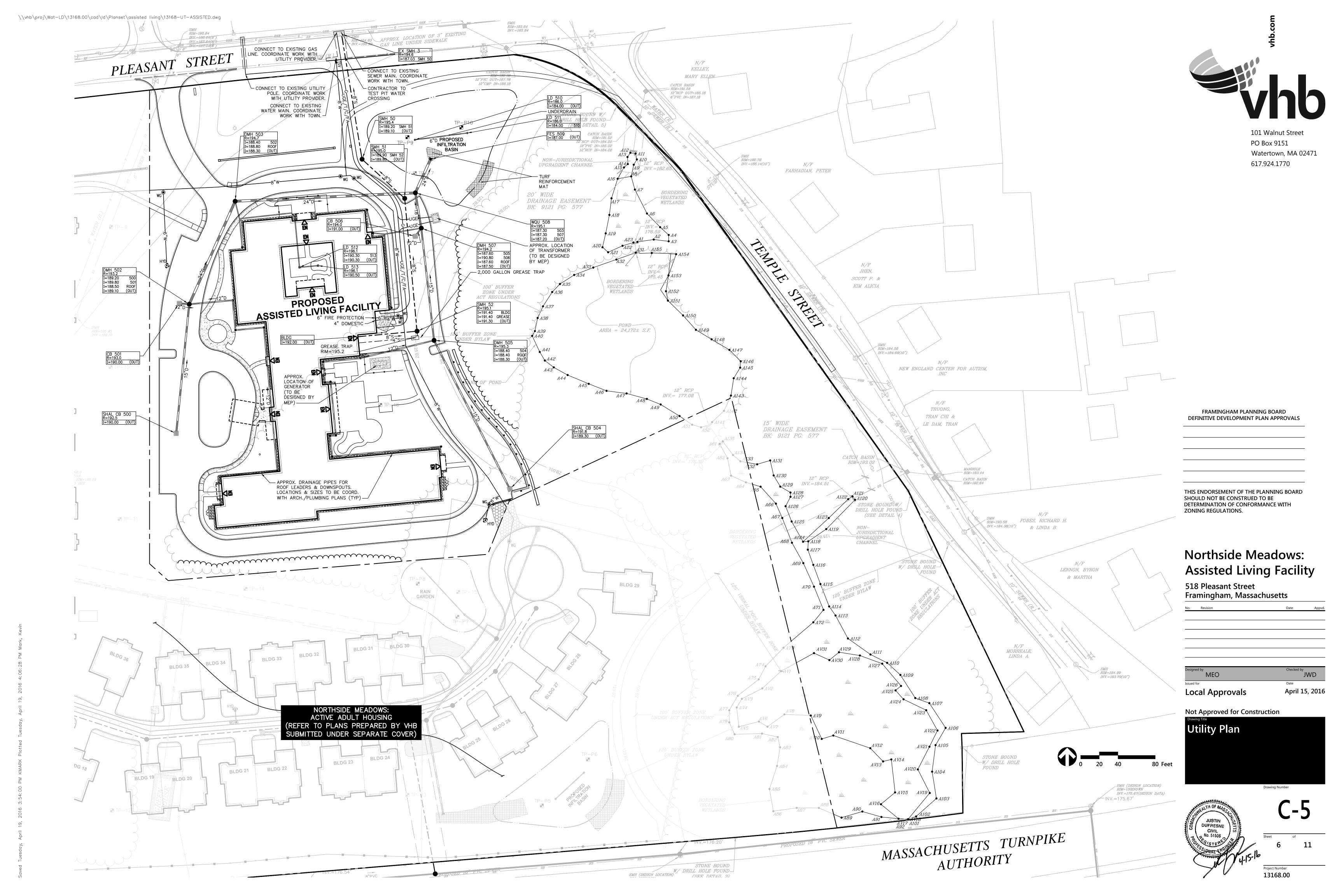
W/ DRILL HOLE FOUND—/ (SEE DETAIL 3)

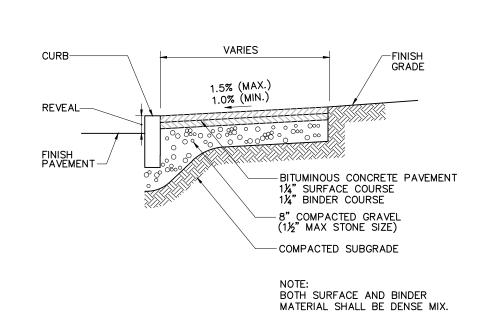
Zoning District: R-3 Single Family Residence (20,000 SF Lots)				
Zoning Regulation Requirements	Required/Allowable	Provided		
MINIMUM LOT AREA ^[1]	5.2 Acres	8.64 Acres		
FRONTAGE	150 Feet	394 Feet		
FRONT SETBACK	150 Feet	150 Feet		
SIDE SETBACK	50 Feet	50 Feet		
PERIMETER BUFFER (IN FRONT SETBACK)	75 Feet	75 Feet		
MAXIMUM FLOOR AREA RATIO	0.25	0.16		
MAXIMUM BUILDING HEIGHT ^[2]	2 STORIES/26 FT < 300' 2.5 STORIES/35 FT > 300'	1 STORY - 19' 6" 2 STORIES - 29' 2"		
MINIMUM LANDSCAPED OPEN SPACE	50 %	73 %		
MAXIMUM BUILDING COVERAGE	15 %	11 %		

^[1] PER SECTION V.A.1.b.(1) 1 ACRE PER 10 UNITS, BASED ON PROPOSED 52 UNITS.
[2] WHEN LOCATED WITHIN OR GREATER THAN 300 FEET OF SINGLE FAMILY, TWO—FAMILY OR THREE—FAMILY RESIDENTIAL LOT LINE. PER MASSACHUSETTS STATE BUILDING CODE, BUILDING HEIGHT IS MEASURED FROM THE AVERAGE GROUND SURFACE TO THE MID—POINT OF A PITCHED ROOF.

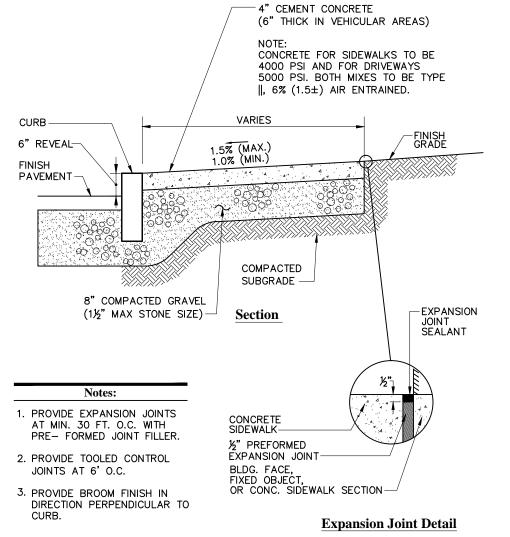




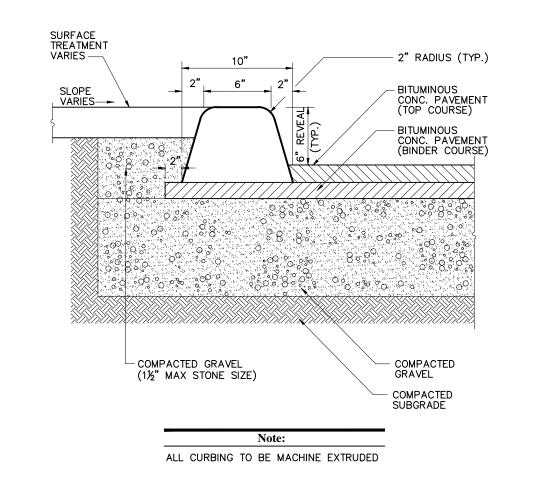




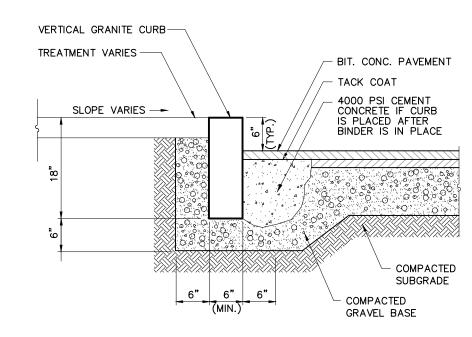


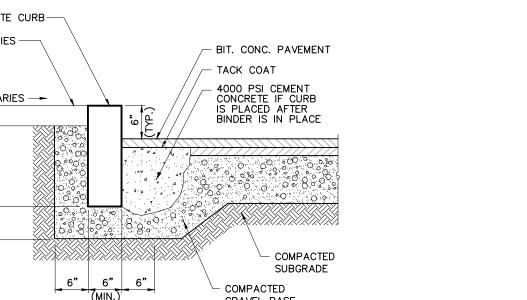


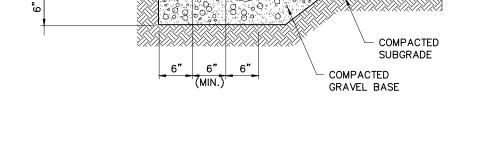
CURB.		Expansion Joint Detail
Concrete Sidew	valk	4/1
N.T.S.	Source: VHB	LD_420

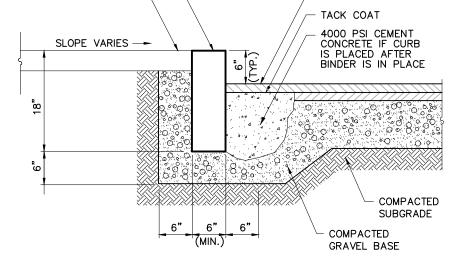


Bituminous Curb (BC)		6/08
N.T.S.	Source: VHB	LD_406

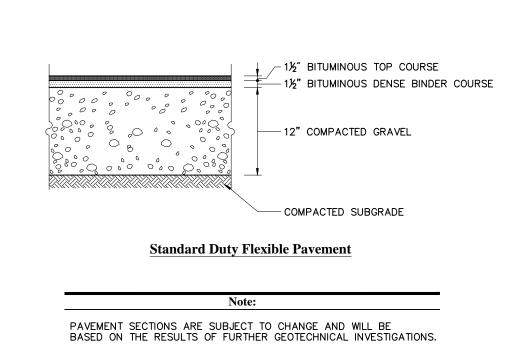




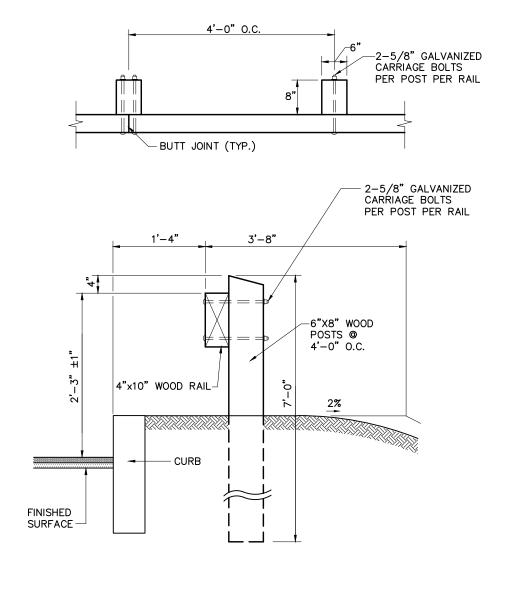




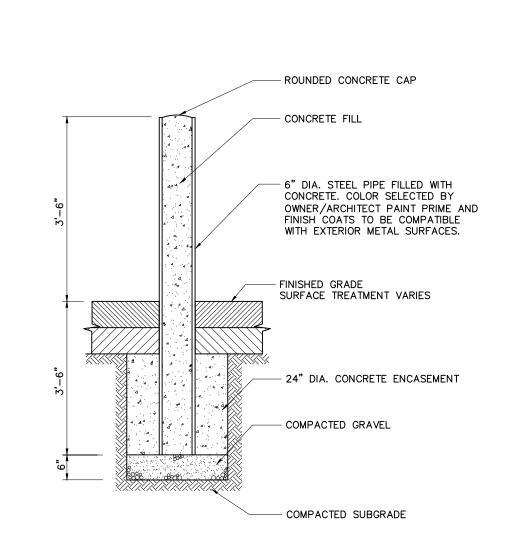




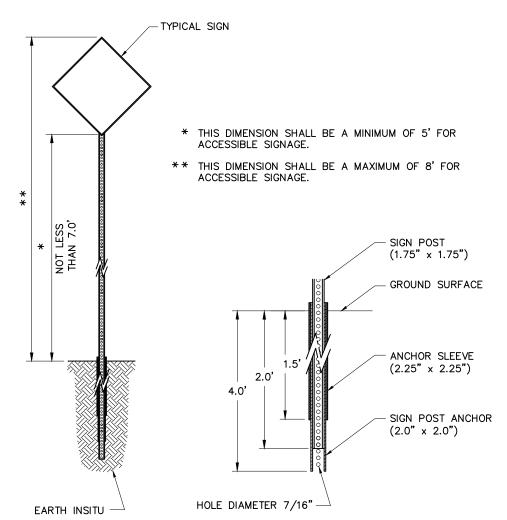




Wood Guardrail		6/08
N.T.S.	Source: VHB	LD_450



Bollard		6/08
N.T.S.	Source: VHB	LD_700



Sign Post - Type 'B'		12/12
N.T.S.	Source: VHB	LD_702

NOT TO SCALE

1. CROSSWALK MARKINGS SHALL CONSIST OF SOLID WHITE OR YELLOW (AS INDICATED) LINES (BOTH TRANSVERSE AND LONGITUDINAL) 12 INCHES IN WIDTH.
2. CROSSWALKS SHALL BE 8 FEET WIDE.
3. LONGITUDINAL LINES SHALL BE SPACED 24" APART ON CENTER FOR ALL NEW CROSSWALKS, EXISTING CROSSWALK REPAIRS SHALL MATCH EXISTING SPACING.
4. CROSSWALK LINES SHALL EXTEND ACROSS THE FULL WIDTH OF PAVEMENT OR TO THE EDGE OF THE INTERSECTING CROSSWALK.
CROSSWALK BENALL EXTEND ACROSS THE FULL WIDTH OF PAVEMENT OR TO THE EDGE OF THE INTERSECTING CROSSWALK.
CROSSWALK SHALL BE MARKED AT ALL INTERSECTIONS WHERE THERE IS SUBSTANTIAL CONFLICT BETWEEN VEHICULAR AND PEDESTRIAN MOVEMENT.
CROSSWALK MARKINGS SEAD BEING AND AND SOLVE AS TO SEAD AND SEAD SEAD AND SEAD

CONFORMING TO MASSDOT ENGINEERING DIRECTIVE E-05-003, DATED JUNE 16, 2005 AND TO MASSDOT STANDARD SECTION 860.

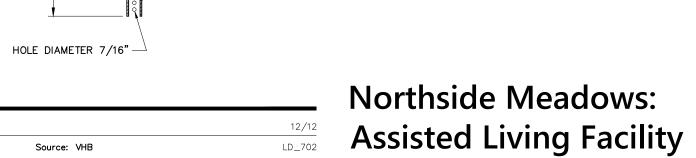
7. CROSSWALK MARKINGS FOR EXISTING ROADWAYS SHALL BE INSTALLED USING FAST DRYING WATER-BORNE TRAFFIC PAINT PAVING MARKING MATERIAL TO MEET MASSDOT SPECIFICATIONS M07.01.23 (WHITE) AND M07.01.24 (YELLOW).

8. THERMOPLASTIC SHALL NOT BE USED FOR ANY PAVEMENT MARKINGS.

CROSS WALK

TOWN OF FRAMINGHAM DEPARTMENT OF PUBLIC WORKS

DATE: DETAIL NO.
REV: R-5.5.0



518 Pleasant Street Framingham, Massachusetts

FRAMINGHAM PLANNING BOARD **DEFINITIVE DEVELOPMENT PLAN APPROVALS**

THIS ENDORSEMENT OF THE PLANNING BOARD

SHOULD NOT BE CONSTRUED TO BE **DETERMINATION OF CONFORMANCE WITH**

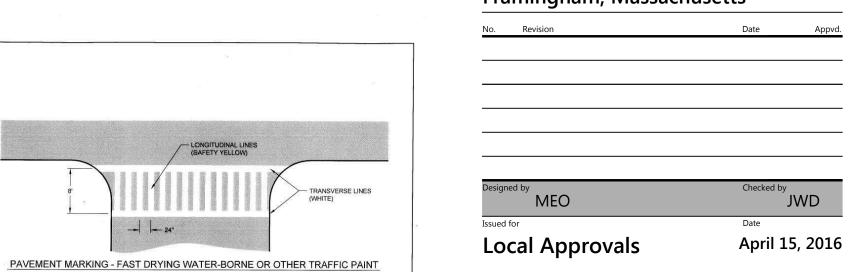
ZONING REGULATIONS.

101 Walnut Street

Watertown, MA 02471

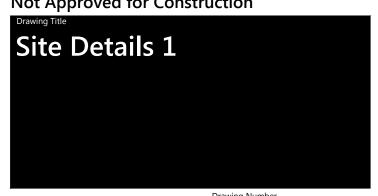
PO Box 9151

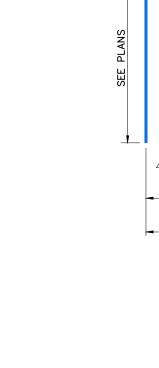
617.924.1770



Not Approved for Construction







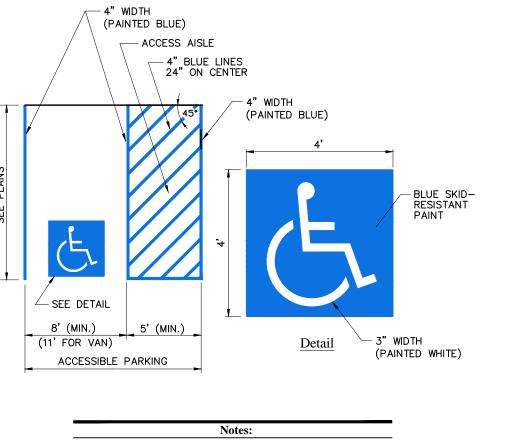


BENCHMARK

SENIOR LIVING

at FRAMINGHAM

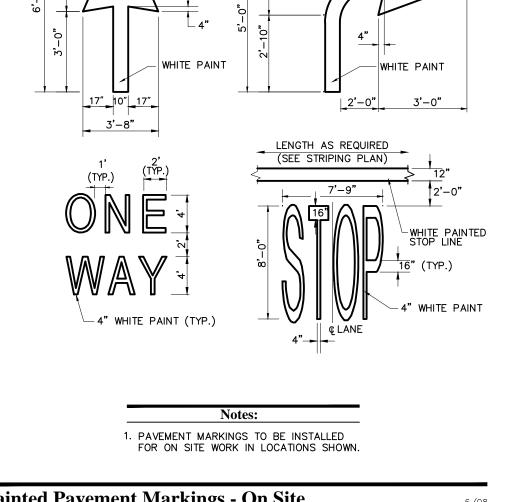
Assisted Living • Memory Care



1. ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING. 8' STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.

3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.

Accessible Parking Space LD_552

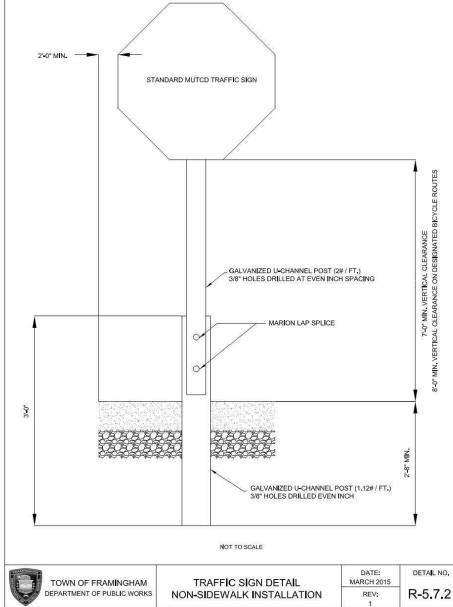


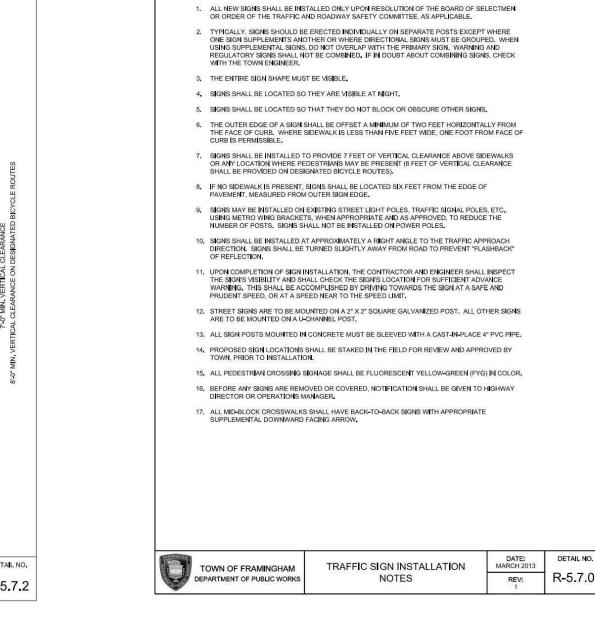
Painted Pavement Markings - On Site 6/08 N.T.S. LD_554

STONE BASE AND CAP-SIGN ELEVATION SCALE: 3/4"=1'-0" **Monument Sign Elevation** N.T.S. Source: BSL

- 1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
- 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%. 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
- 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE. 6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
- 7. TYPICAL SIDEWALK SECTION FOR RAMP SECTION CONSTRUCTION.
- 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
- 9. ELIMINATE CURBING (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT

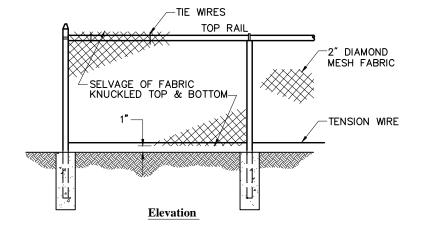
Accessible Cu	rb Ramp (ACR)	Type 'M'	11/10
N.T.S.	Source:	VHB	LD_512

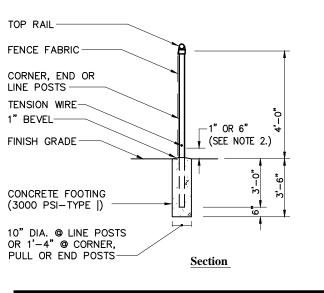




---END CAP

-4"DIA. SEAMLESS STEEL PIPE SWING ARM AND POSTS ASTM A53, TYPE "S", GRADE "B", STANDARD WEIGHT





1. MATERIALS TO BE SUPPLIED AND INSTALLED IN CONFORMANCE WITH "CHAIN LINK MANUFACTURER'S INSTITUTE" PRODUCT MANUAL.

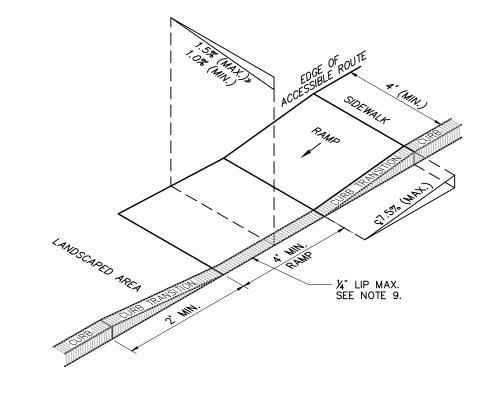
PROVIDE 6" OF CLEARANCE BETWEEN THE BOTTOM OF FABRIC AND FINISH GRADE AROUND BMP IF AN ORDER OF CONDITIONS WAS ISSUED FOR THE PROJECT.

4' Chain Link Fence	5/12	
N.T.S.	Source: VHB	LD_481_MA



101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770





- 1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
- 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%. 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
- 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
- 6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING. 7. TYPICAL SIDEWALK SECTION FOR RAMP SECTION CONSTRUCTION.

Accessible Curb Ramp (ACR) Type 'G'

N.T.S.

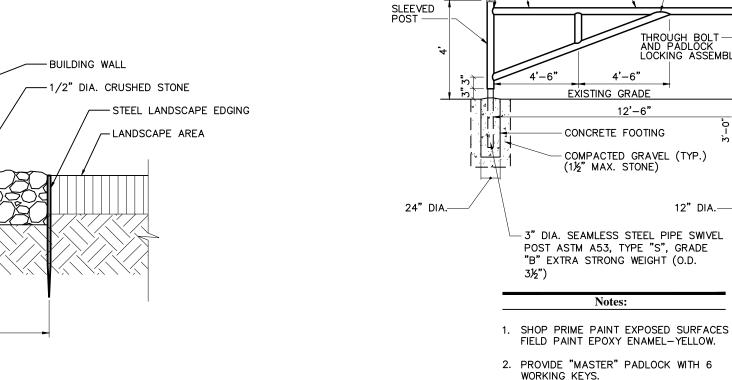
N.T.S.

- 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
- 9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.

Source: VHB

BUILDING WALL 1/2" DIA. CRUSHED STONE
STEEL LANDSCAPE EDGING
LANDSCAPE AREA
2'-0"

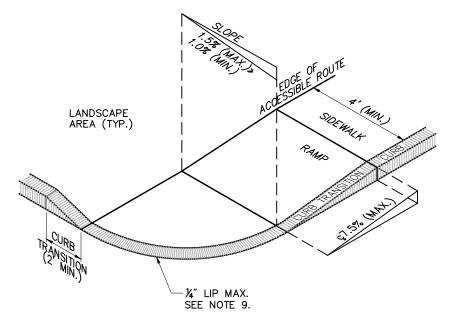
Emergency Gate Source: VHB N.T.S.



LANDSCAPE AREA (TYP.)

Source: VHB

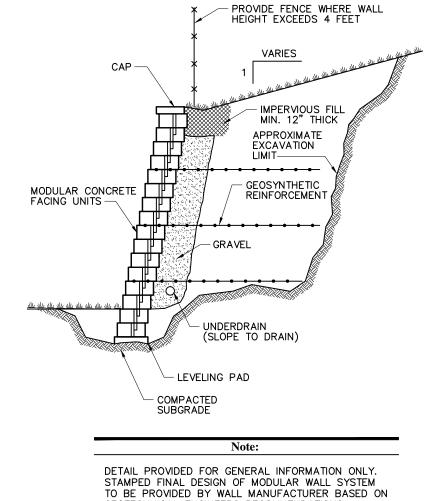
3. 3,000 PSI CONCRETE FOOTING



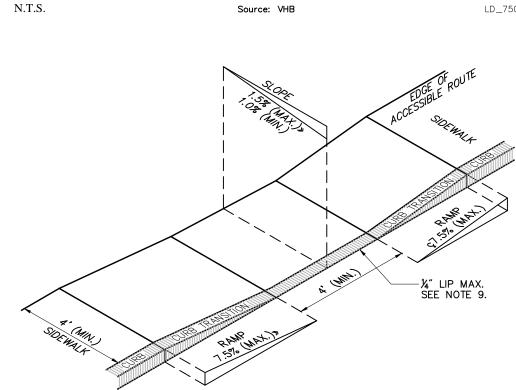
Notes:

- 1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.). 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
- 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
- 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
- 6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING. 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
- 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
- 9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.

9/13 LD_501 Source: VHB



GEOTECHNICAL ENGINEERS RECOMMENDATIONS. **Modular Retaining Wall**



1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).

3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.

4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN

8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' \times 5'

Source: VHB

9. ELIMINATE CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET

ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).

6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.

PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.

5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.

FLUSH) WHERE IT ABUTS ROADWAY.

N.T.S.

7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.

Accessible Curb Ramp (ACR) Type 'A'

2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.

Northside Meadows: Assisted Living Facility

FRAMINGHAM PLANNING BOARD

DEFINITIVE DEVELOPMENT PLAN APPROVALS

THIS ENDORSEMENT OF THE PLANNING BOARD

SHOULD NOT BE CONSTRUED TO BE

ZONING REGULATIONS.

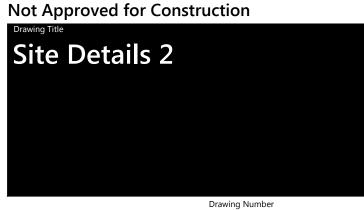
DETERMINATION OF CONFORMANCE WITH

518 Pleasant Street Framingham, Massachusetts

Designed by MEO	Checked by JWD
Issued for	Date

April 15, 2016

Local Approvals



JUSTIN

- 1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.). 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%. 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
- 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE. 6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
- 7. TYPICAL SIDEWALK SECTION FOR RAMP SECTION CONSTRUCTION. 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5'
- PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET. 9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE SET FLUSH.

Accessible Curb Ramp (ACR) Type 'D'	11/10

Source: VHB

Drip Strip

N.T.S.

Accessi

N.T.S.

LD_503

11/10

LD_506

1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.). 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.

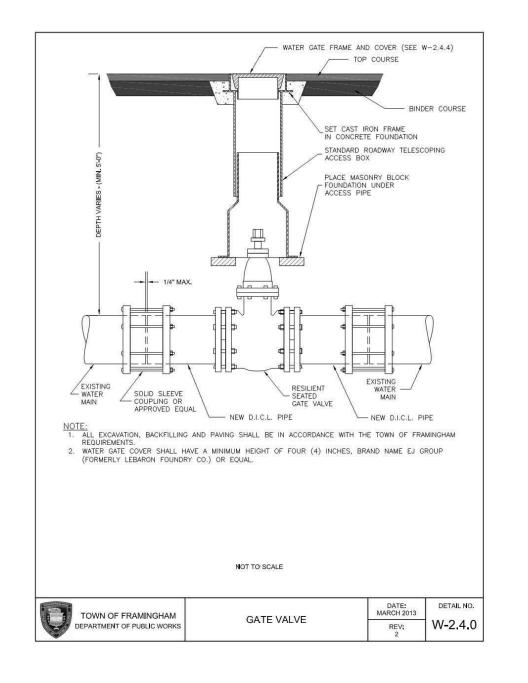
4' (MIN.)

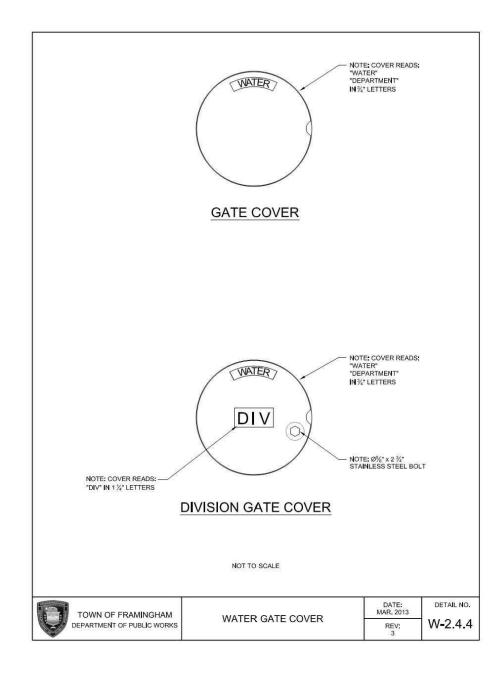
- 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
- 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE. 6. RAMP, CURB, AND ADJACENT PAVING SHALL BE GRADED TO PREVENT PONDING.
- 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION. 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5'
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- 9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.

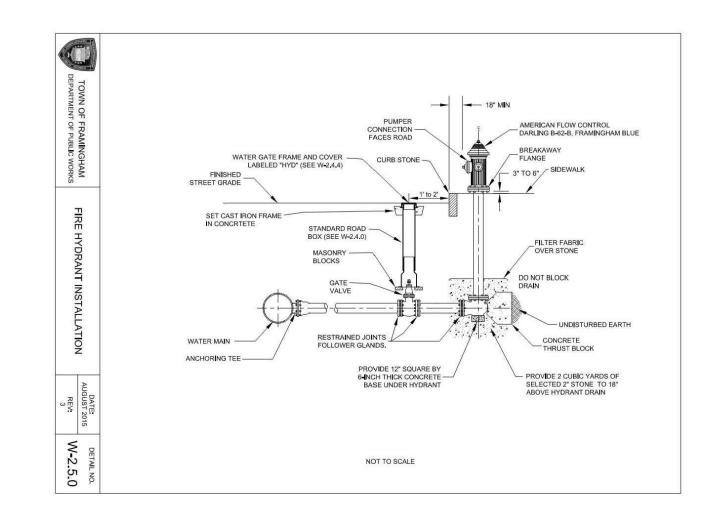
sible Curb Ramp (ACR) Type 'C'	11/10	Accessible Cu	rb Ramp (ACR) - Type 'B'	
Source: VHB	LD_502	N.T.S.	Source: VHB	

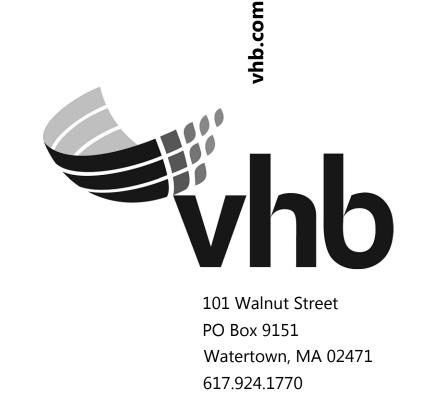
LD_500

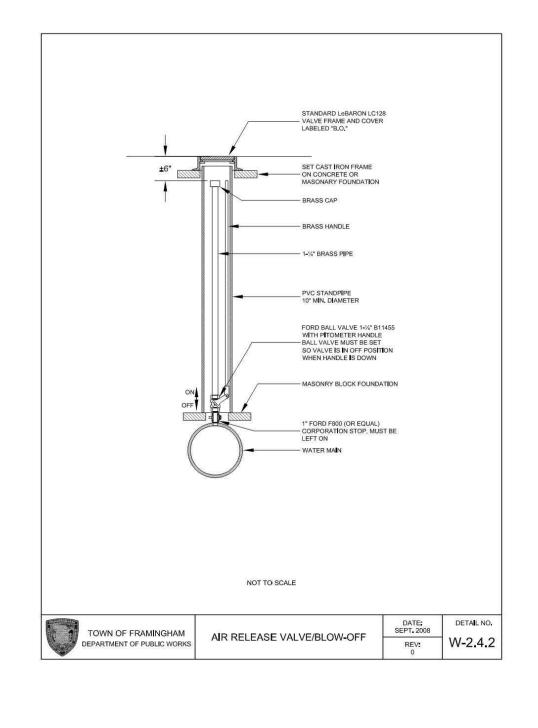
13168.00

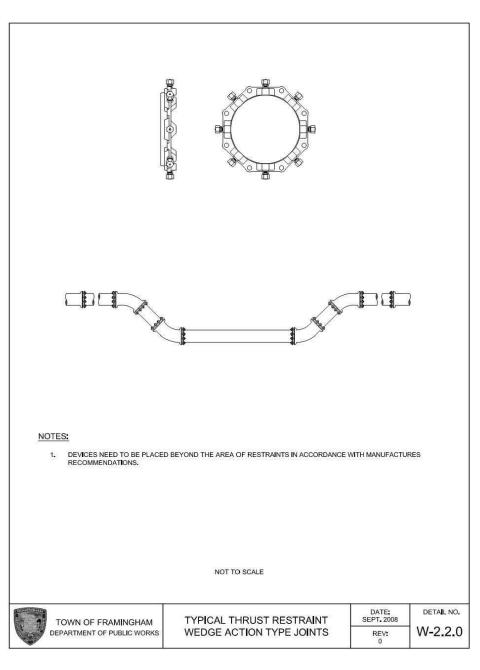


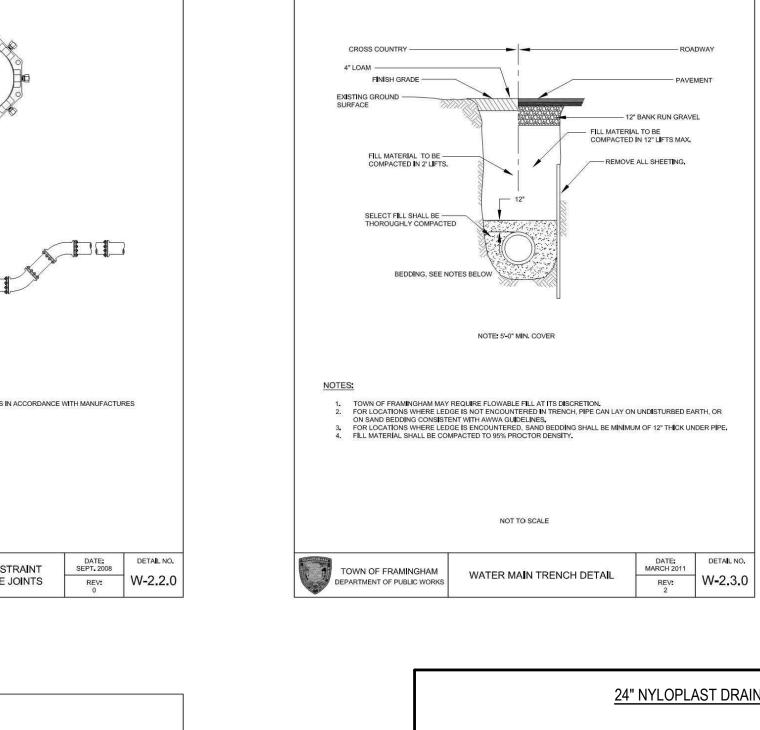


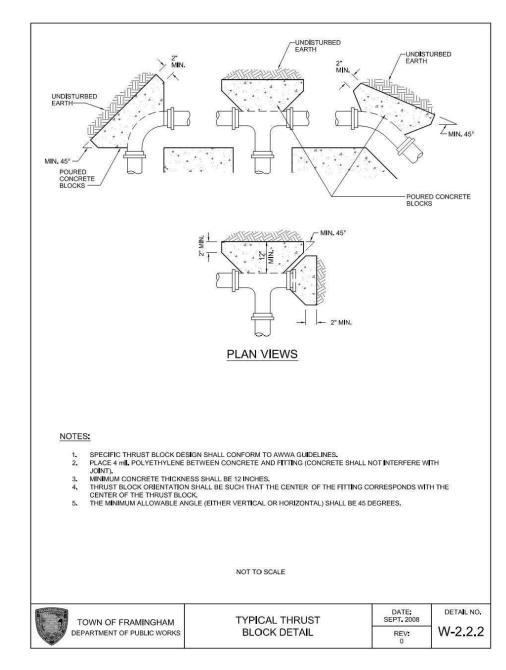


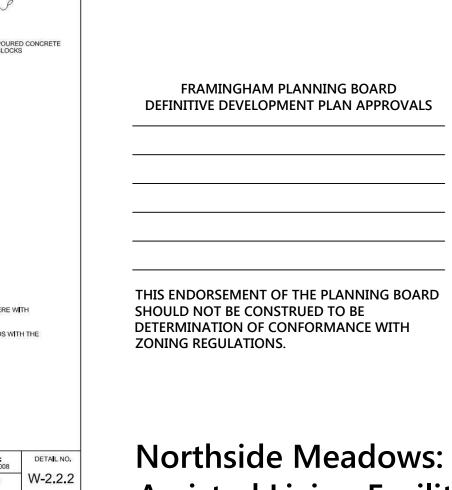


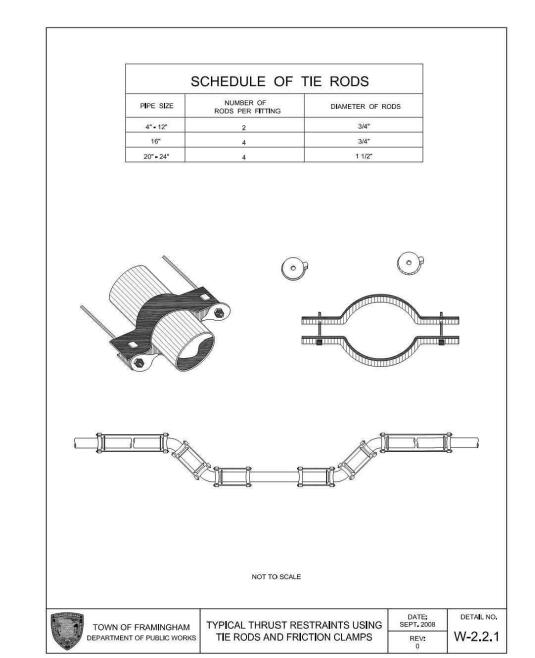


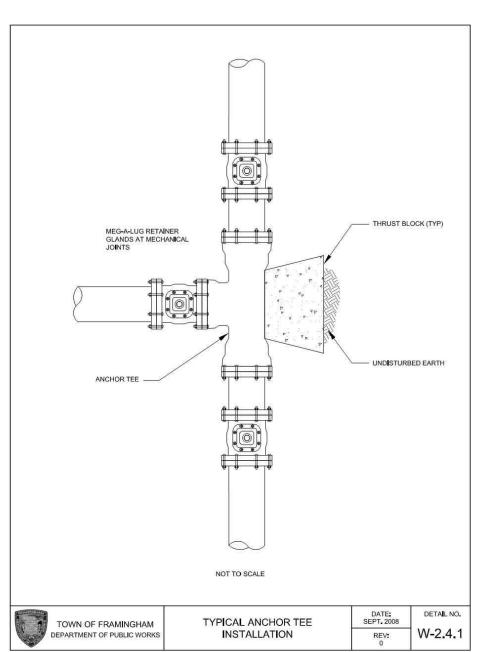


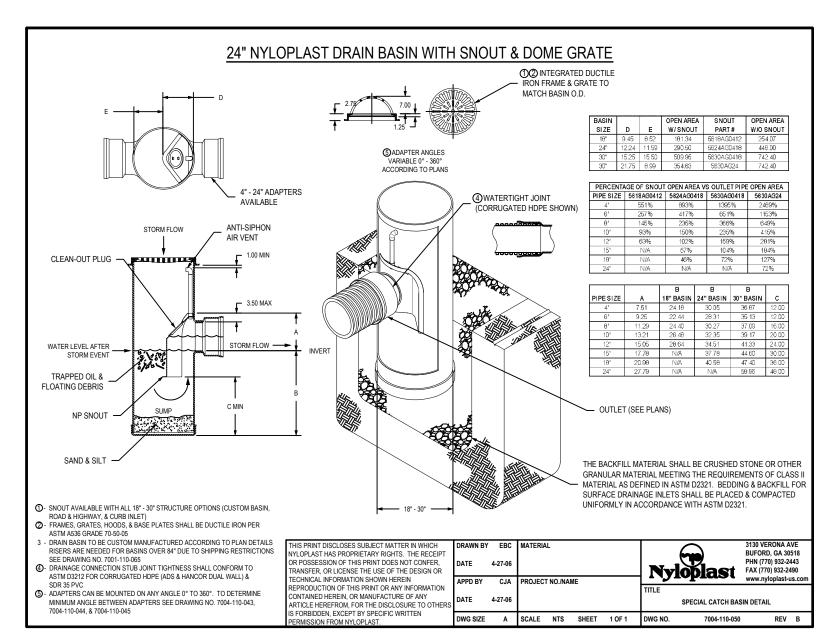












- FRAMES, GRATES, HOODS, & BASÉ PIATES SHALL BE DUCTILE IRON PER ASTM AS56 GRADE 70-50-05

3 - DRAW BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR MASINS OVER 8th DUE TO SHIPPING RESTRICTIONS SEE DRAWING NO. 7001-110-065

O DRAINAGE CONNECTION STUB-JOINT HIGHTSS SHALL CONFORM TO ASTM D2212 FOR CORRULATED HOPE (ADS & HANCOR DUAL WALL) & SDR 35 PVC

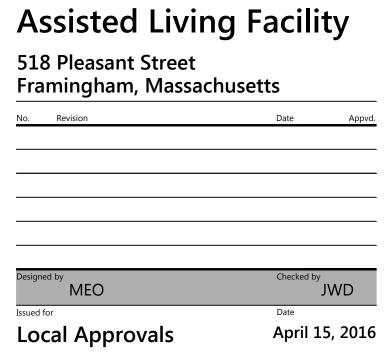
O ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7004-110-043, 7004-110-045

Landscape Drain (LD)

Landscape Drain (LD)

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST.

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPERTIEATY RIGHTS. THE RECEIPT OF POSSESSION OF THIS PRINT DOES NOT COMPETANT RIGHTS. THE RECEIPT OF POSSESSION OF THIS PRINT DOES NOT COMPETANT RIGHTS. THE RECEIPT OF POSSESSION OF THIS PRINT DOES NOT COMPETANT RIGHTS. THE RECEIPT OF POSSESSION OF THIS PRINT DOES NOT COMPETANT RIGHTS. THE RECEIPT OF POSSESSION OF THIS PRINT DOES NOT COMPETANT RIGHTS. THE RECEIPT OF POSSESSION OF THIS PRINT DOES NOT COMPETANT RIGHTS. THE RECEIPT OF POSSESSION OF THIS PRINT DOES NOT COMPETANT RIGHTS. THE RECEIPT OF POSSESSION OF THIS PRINT DOES NOT COMPETANT RIGHTS. THE RECEIPT OF POSSESSION OF THIS PRINT DOES NOT COMPETANT RIGHTS. THE RECEIPT OF POSSESSION OF THIS PRINT DOES NOT COMPETANT RIGHTS. THE RECEIPT OF POSSESSION OF THIS PRINT DOES NOT COMPETANT RIGHTS. THE RECEIPT OF THE DISCLOSURE TO COMPETANT RIGHTS. THE RECEIPT OF THE DISCLOSURE TO COMPETANT RIGHTS. THE RECEIPT OF THE DISCLOSURE TO COMPETANT RIGHTS. THE RECEIPT RIGHTS. THE RECEIPT OF THE DISCLOSURE TO COMPETANT RIGHTS. THE RECEIPT RIGHTS. THE RECEIPT ROW RECEIPT RIGHTS. THE RECEIPT ROW RECEIPT RIGHTS. THE RECEIPT ROW RECEI

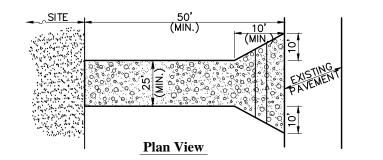


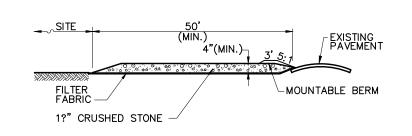
Not Approved for Construction

Site Details 3

JUSTIN DUFRESNE CIVIL No. 51506
Sheet of 9 11

Project Number 13169 00





1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS

WHERE INGRESS OR EGRESS OCCURS.

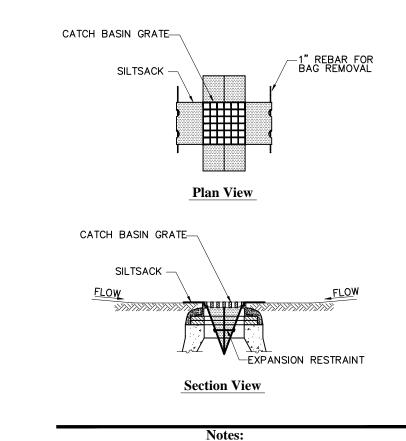
Stabilized Construction Exit

Cross-section

2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS—OF—WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS—OF—WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

LD_682

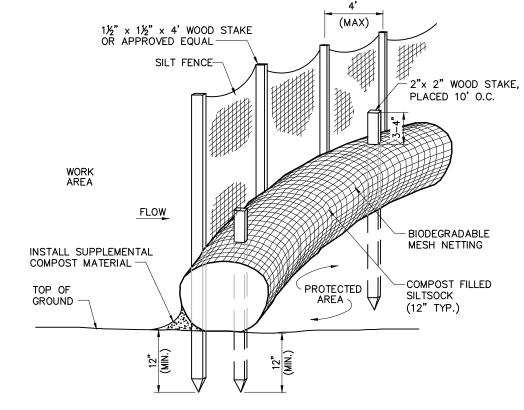


INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN

2. GRATE TO BE PLACED OVER SILTSACK.

3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED

Siltsack Sediment Trap 6/08 N.T.S. LD_674 Source: VHB



1. SILTSOCK SHALL BE FILTREXX SILTSOXX, OR APPROVED EQUAL.

2. SILTSOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES. 3. SILTSOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE

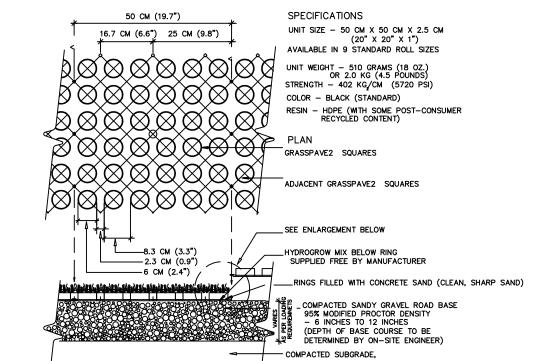
4. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.

PERFORMED PROMPTLY AS NEEDED.

5. IF NON BIODEGRADABLE NETTING IS USED THE MATTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Siltsock / Silt Fence Barrier 8/12 N.T.S. LD_658-A

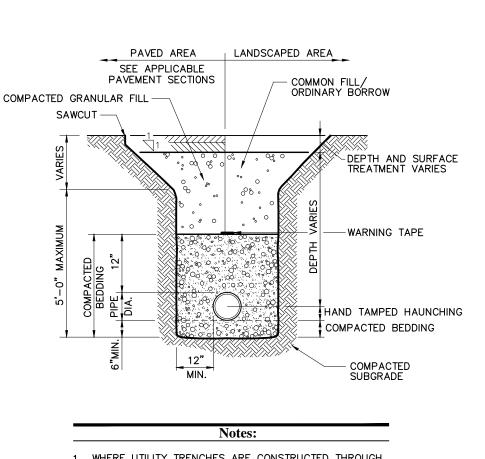




COMPACTED SANDY GRAVEL BASE COURSE ENLARGEMENT NOTE: GRASS/PLANT TYPES SHALL BE SPECIFIED BY A LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER.

TYPICAL GRASSPAVE2 DETAIL CHOOSE THIS PRODUCT FOR REINFORCING GRASS WEARING SURFACES NOT TO SCALE Structures, Inc GPDET.DWG

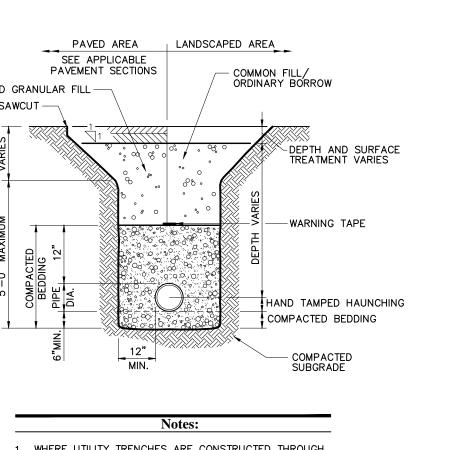
Grass Block Paver (Heavy Vehicle Access)

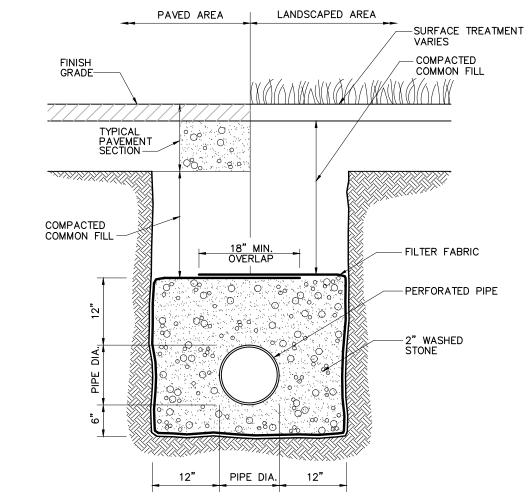


1. WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.

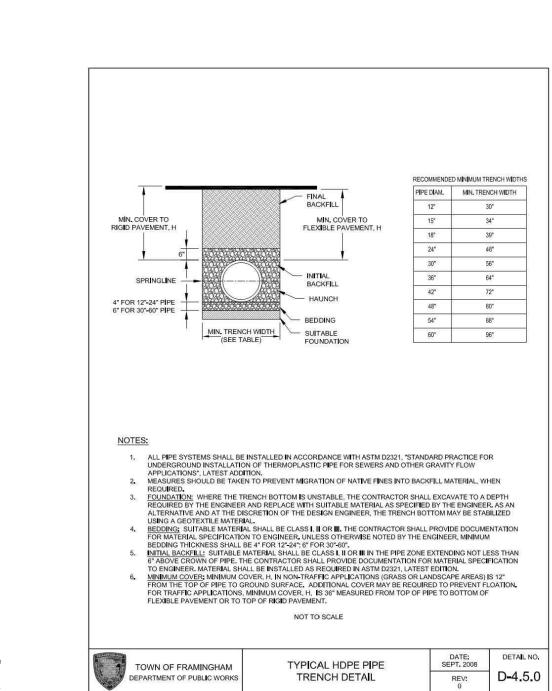
2. USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.

Utility Trench N.T.S. Source: VHB LD_300





Underdrain (UD) N.T.S. Source: VHB



Northside Meadows: Assisted Living Facility

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THIS ENDORSEMENT OF THE PLANNING BOARD

SHOULD NOT BE CONSTRUED TO BE

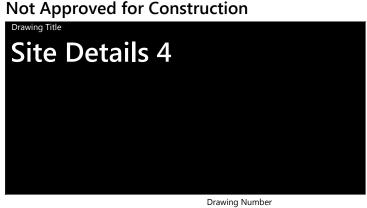
ZONING REGULATIONS.

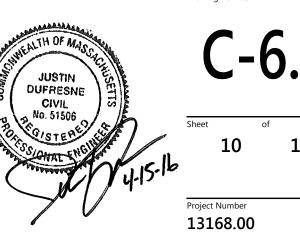
DETERMINATION OF CONFORMANCE WITH

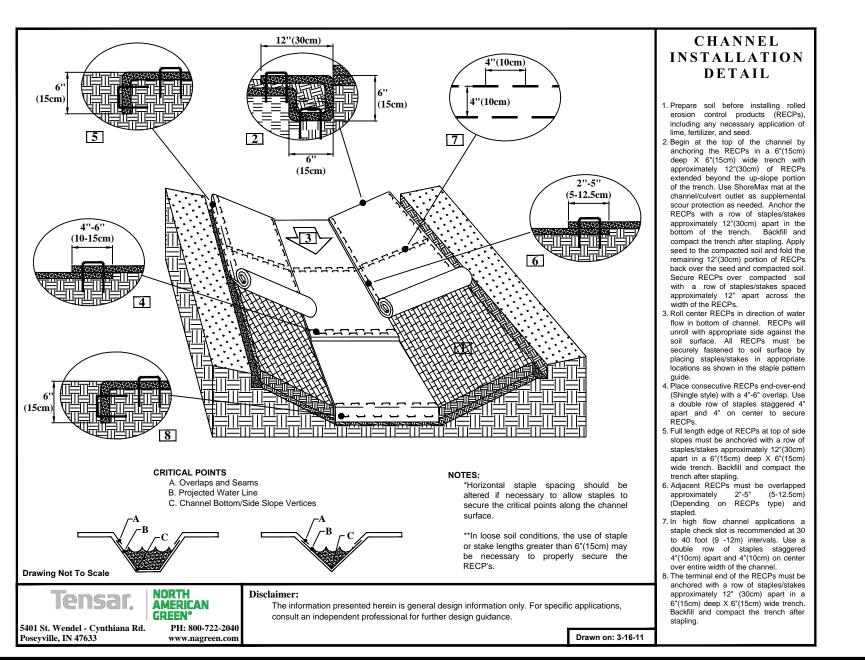
518 Pleasant Street Framingham, Massachusetts

Designed by MEO	Checked by JWD
Issued for	Date
Local Approvals	April 15, 2016

Not Approved for Construction

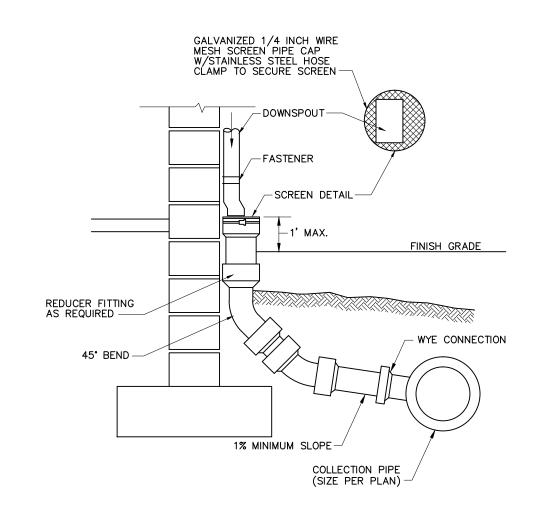




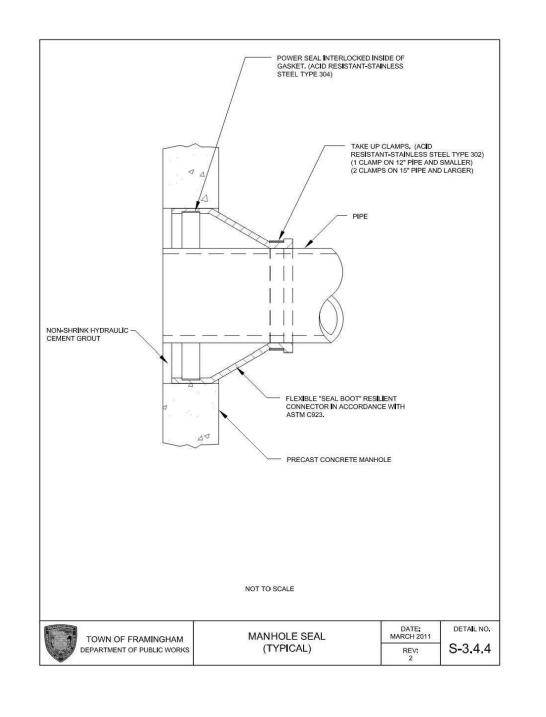


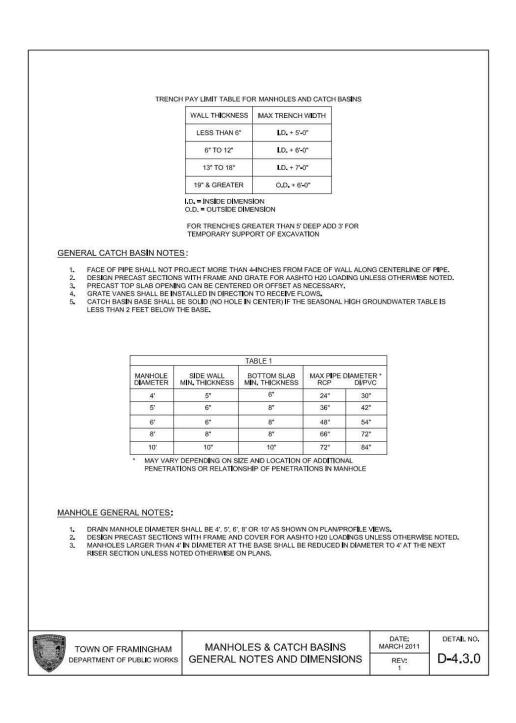
Turf Reinforcement Mat

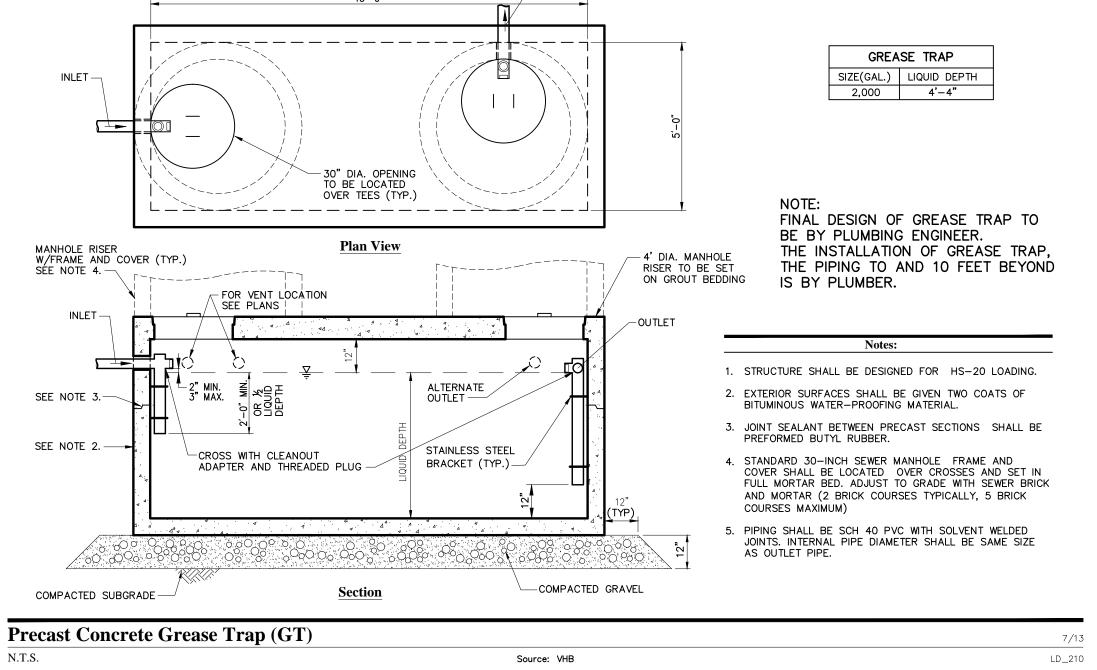
N.T.S.











BED MORTAR -

TOWN OF FRAMINGHAM

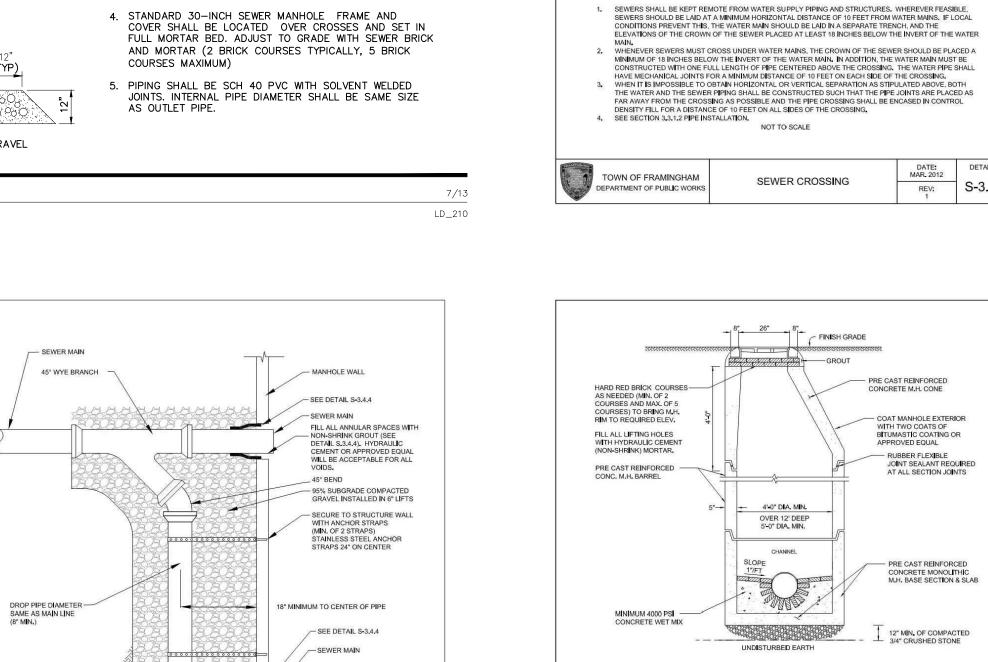
EPARTMENT OF PUBLIC WORKS

NOT TO SCALE

1. BOTH PVC PIPE OR DUCTILE IRON PIPE ARE ACCEPTABLE.
2. IF DUCTILE IRON PIPE IS USED, 90° BENDS SHALL BE POLY-WRAPPED WITHIN THE LIMITS OF THE MORTARED SECTION

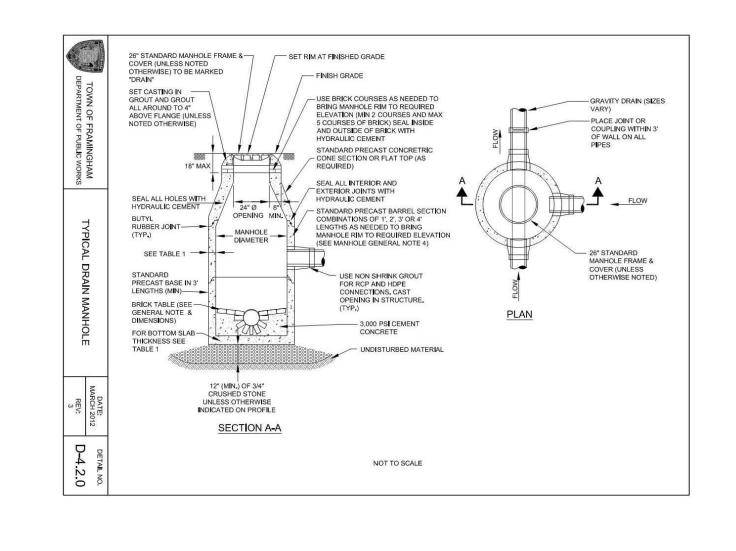
TYPICAL DROP MANHOLE

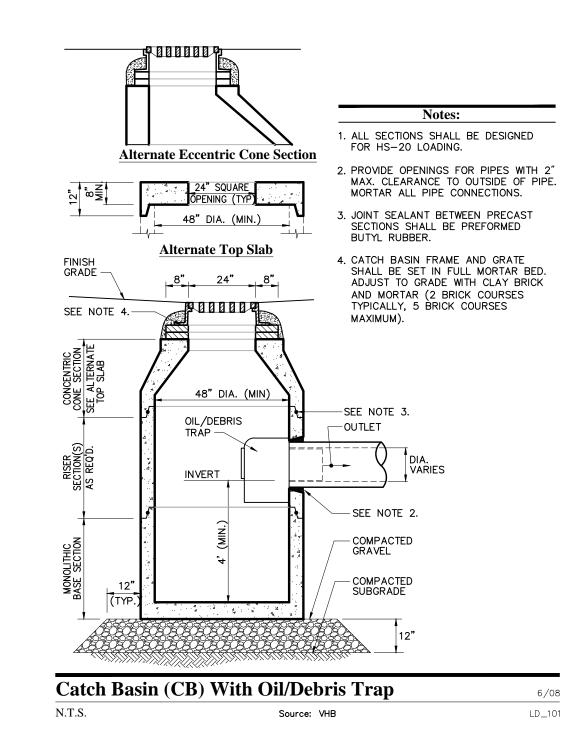
(OUTSIDE)

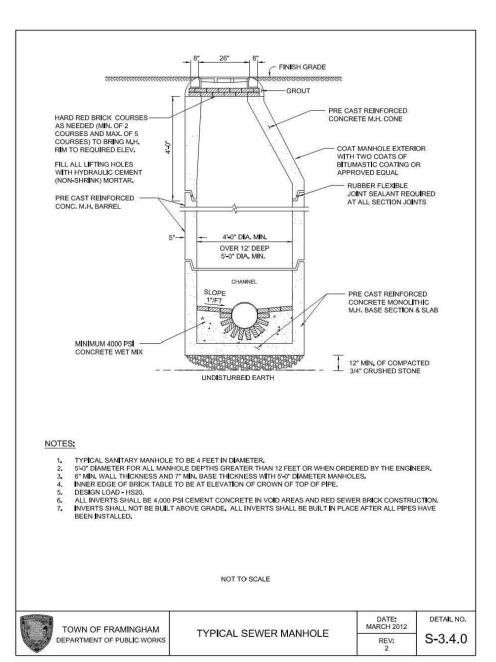


DETAIL NO.

REV: S-3.4.1





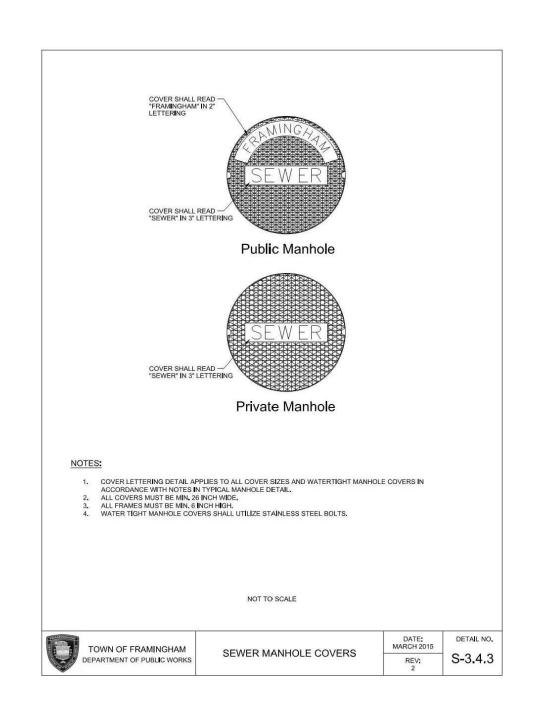


SEWER CROSSING

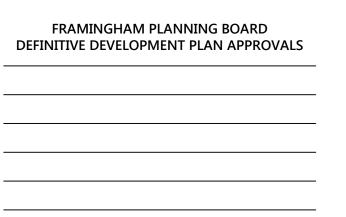
9'-0" MIN. ----

DATE: DETAIL NO. MAR. 2012

REV: S-3.5.0







THIS ENDORSEMENT OF THE PLANNING BOARD

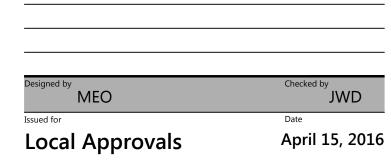
SHOULD NOT BE CONSTRUED TO BE

ZONING REGULATIONS.

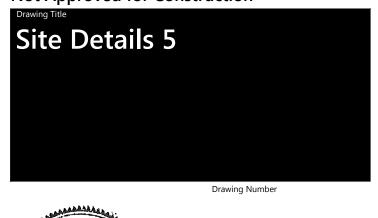
DETERMINATION OF CONFORMANCE WITH

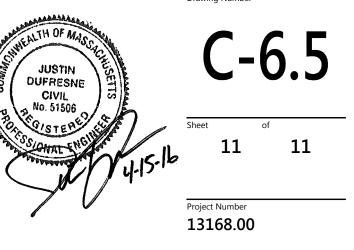
Northside Meadows: Assisted Living Facility

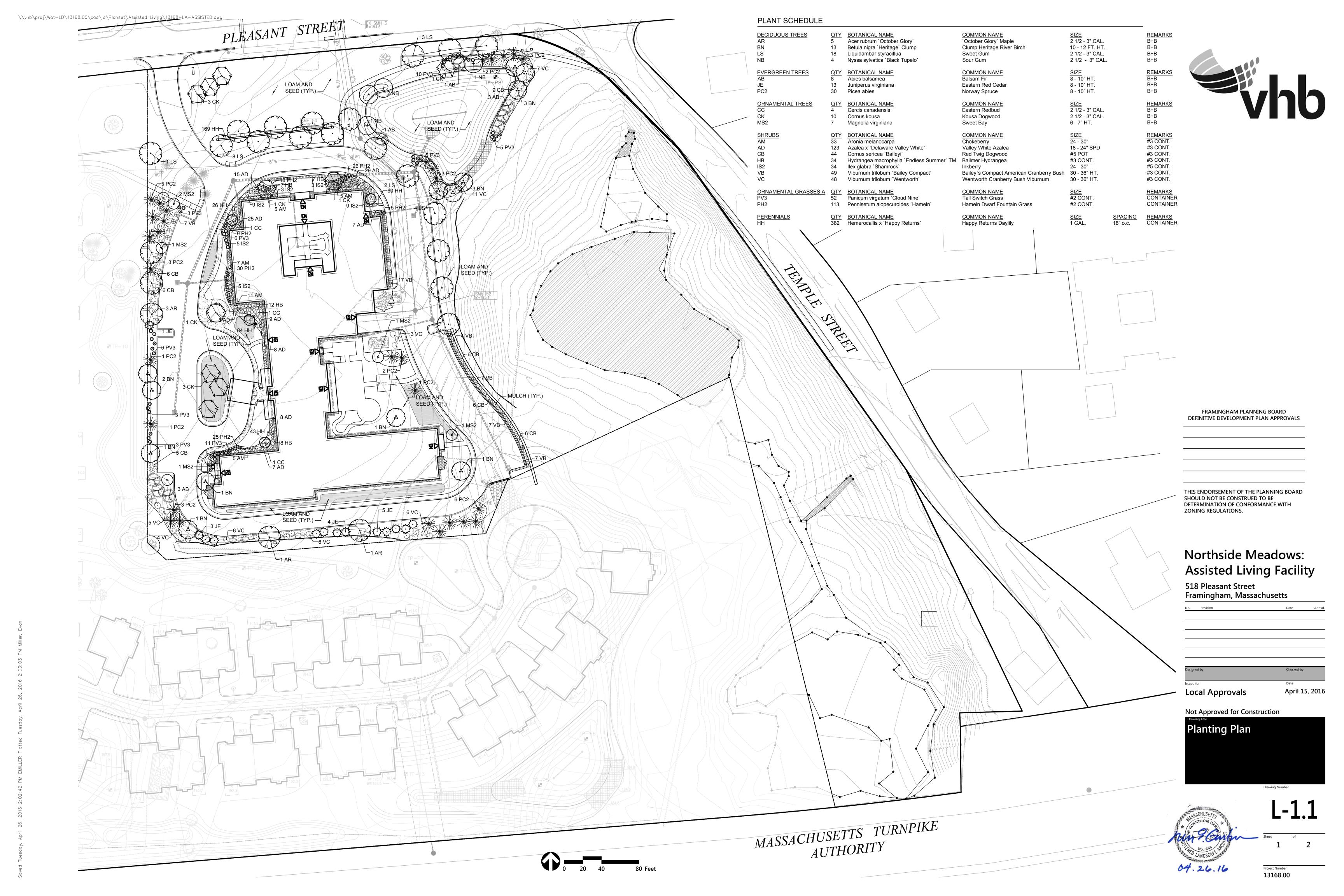
518 Pleasant Street Framingham, Massachusetts



Not Approved for Construction

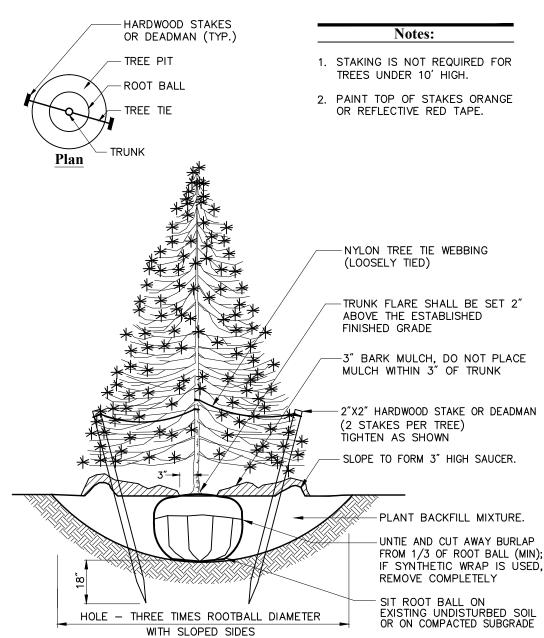




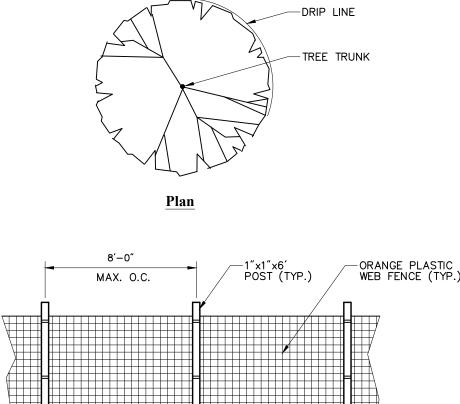


1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

Shrub Bed Planting N.T.S. LD_601



Evergreen Tree	Planting	6/15
N.T.S.	Source: VHB	LD_604

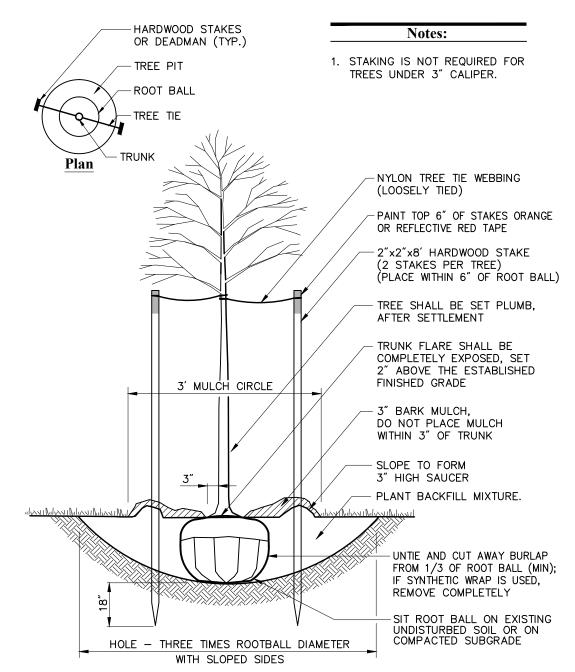


1. INSTALL TREE PROTECTION FENCE AT THE DRIP LINE OF EXISTING TREES TO REMAIN.

Elevation

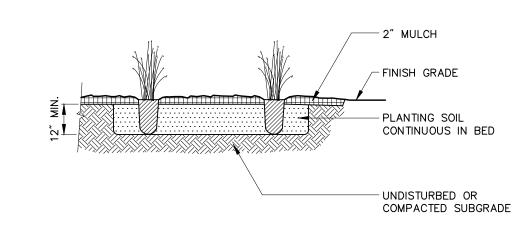
Tree Protection Fence			7/13
NTC	_		

Source: VHB



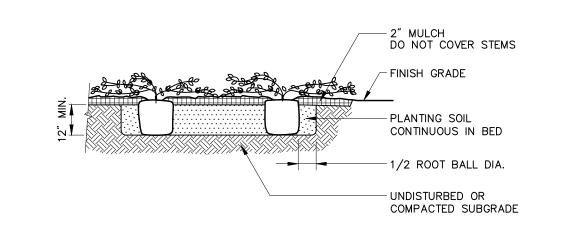
Tree Planting (For	r Trees Under 4" Caliper)	6/
NTS	Source: VHB	ID 60

PLANT SPACING ("A")	ROW SPACING ("B")	
6 IN. O.C.	5 IN. O.C.	"A"
8 IN. O.C.	7 IN. O.C.	
10 IN. O.C.	8-1/2 IN. O.C.	
12 IN. O.C.	10-1/2 IN. O.C.	"B" 60°
15 IN. O.C.	13 IN. O.C.	4.
18 IN. O.C.	16 IN. O.C.	

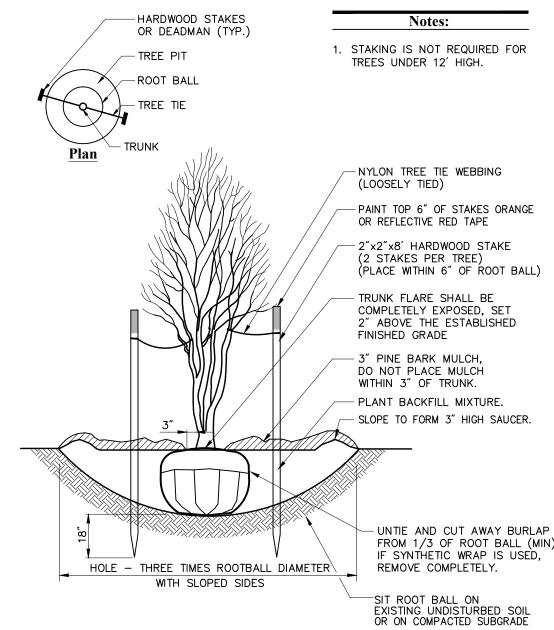


Perennial Plug Plantin	ng	11/
N.T.S.	Source: VHB	LD_6

PLANT SPACING ("A")	ROW SPACING ("B")	
6 IN. O.C.	5 IN. O.C.	"A"
8 IN. O.C.	7 IN. O.C.	
10 IN. O.C.	8-1/2 IN. O.C.	
12 IN. O.C.	10-1/2 IN. O.C.	"B" 60° /
15 IN. O.C.	13 IN. O.C.	7. 000
18 IN. O.C.	16 IN. O.C.	
24 IN. O.C.	21 IN. O.C.	



Ground Cover I	Planting	6/15
N.T.S.	Source: VHB	LD_615



Multistem Tree Planting		
N.T.S.	Source: VHB	L

HARDWOOD STAKES OR DEADMAN-

TREE PIT-ROOT BALL-

GUY WIRE-

PLANTING TRANSITION SLOPE

<u>Plan</u>

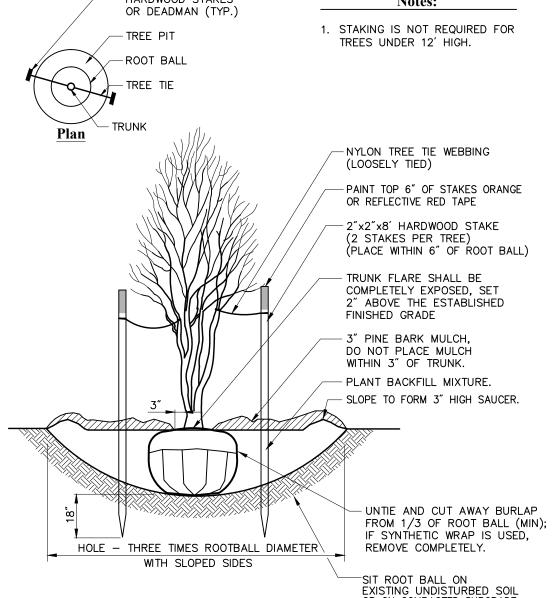
UNTIE AND CUT AWAY BURLAP FROM 1/3 OF ROOT BALL (MIN); IF SYNTHETIC WAP IS USED,

REMOVE COMPLETELY.

COMPACTED SUBGRADE -

PLANT BACKFILL MIXTURE

SIT ROOT BALL ON EXISTING UNDISTURBED SOIL OR ON



Multistem Tree	Planting	
N.T.S.	Source: VHB	LD.

Planting Notes

1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.

3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT. 4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.

5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.

6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.

7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.

12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS. 9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.

10. AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC. 11. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.

EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.

CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION

3. DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

3. WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.

4. WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.

Special Landscape Notes

1. CONTRACTOR SHALL SUBMIT AN IRRIGATION SYSTEM DESIGN TO THE PLANNING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

2. MULCH TO BE PLACED IN SHRUB BEDS NO GREATER THAT 12" FROM THE DRIP LINE. 3. REPLACE EXISTING SOIL IN PLANT BEDS WITH TOPSOIL TO A DEPTH OF 24" MINIMUM.

5. PLANT MATERIAL TYPES, QUANTITIES AND LOCATIONS SHALL NOT BE MODIFIED EXCEPT WITH PERMISSION OF THE PLANNING BOARD, DURING INITIAL INSTALLATION.

6. EXISTING SOIL (TOPSOIL) SHOULD BE REUSED AS MUCH AS POSSIBLE. LOAM BORROW SHOULD ONLY BE BROUGHT IN AS NEEDED. BOTH TOPSOIL AND LOAM BORROW SHOULD BE TESTED BY A UNIVERSITY AGRICULTURAL LAB, SUCH AS UMASS SOIL TESTING LAB, TO DETERMINE IF IT NEEDS AMENDMENTS. LAB SHOULD PROVIDE RECOMMENDATIONS FOR AMENDMENTS BASED UPON PLANTING TYPE, EVERGREEN, DECIDIOUS, LAWN, ETC.

7. CONTRACTOR SHOULD FURNISH PLANTS IN QUANTITIES AS SHOWN ON PLANS, NOT SCHEDULE.

8. REMOVE SOIL FROM TRUNK FLARES OF TREES AND STEMS OF SHRUBS TO DETERMINE ACTUAL TOP OF ROOTBALL AREA.

9. FERTILIZE AS NEEDED PER RECOMMENDATIONS OF SOIL TESTING LAB. 10. THERE IS A 2-YEAR GUARANTEE REQUIRED.

11. NO PLANT MATERIAL CHANGES WITHOUT PERMISSION OF THE LANDSCAPE ARCHITECT.

12. TREES AND SHRUBS SHALL BE B+B OR CONTAINER - NO BARE ROOT.

13. SEEDING - LOAM AND TOPSOIL SHOULD BE 6" AFTER SETTLEMENT, MIN. FERTILIZER AND LIME PER SOIL TESTING LAB RECOMMENDATIONS.

─½ INCH DIAMETER BLACK REINFORCED RUBBER HOSE

-GUYWIRE - SEE GUYING SCHEDULE

ABOVE THE ESTABLISHED FINISHED

 -3° PINE BARK MULCH, DO NOT PLACE MULCH WITHIN 3 $^{\circ}$ OF TRUNK.

- SLOPE TO FORM 3" HIGH SAUCER.

COMMON FILL-

2"X2" HARDWOOD STAKE OR DEADMAN LOCATE TWO OF THE THREE GUYS ON THE UPHILL SIDE OF THE TREE.

PLANTING TRANSITION SLOPE

- 4" LOAM AND SEED OR SOD

-ROOT FLARE SHALL BE SET 2"

14. DO NOT OVER - COMPACT PLANTING AREAS. IF AREAS BECOME COMPACTED, DISC TOP 4"-6" TO UNCOMPACT. 15. LOAM - OBTAIN LABORATORY TEST FOR TOPSOIL AND LOAM BORROW, ASK FOR pH (5.5 TO 6.5 PREFERRED), BUFFER pH, ORGANIC MATTER (5 TO 10%), SOLUBLE SALTS, AND SOIL TEXTURE.

16. ADD MICORRHIZA SPORES IN PLANT BEDS AND PITS.

17. TREES AND SHRUBS SHALL BE TAGGED BY THE LANDSCAPE ARCHITECT.

21. USE TREEGATERS TO PROVIDE SLOW, DEEP WATERING FOR TREES.

18. TREE PITS SHOULD BE FLOODED 2 TIMES IN SUCCESSION WITH WATER, AND EVALUATED FOR DRAINAGE CHARACTERISTICS AFTER A 24 HOUR PERIOD.

19. CONTRACTOR SHOULD PLAN TO PROVIDE CLEAN POTABLE WATER, HOSES AND ALL EQUIPMENT TO WATER PLANTS. 20. PLANTS SHOULD BE WATERED FROM TIME OF DELIVERY UNTIL ACCEPTANCE.

22. GENERAL CONTRACTORS TO REMOVE EXISTING INVASIVE SPECIES ON SITE (NORWAY MAPLE, BUCKTHORN, KNOTWEED, ETC.). CONTROL OF INVASIVE SPECIES SHOULD BE MONITORED THROUGH REGULAR, PERIODIC MAINTENANCE. 23. GENERAL CONTRACTOR TO REMOVE ROOT BASKETS, BURLAP, WRAPS AND TIES ENTIRELY AND DISCARD.

24. GENERAL CONTRACTOR TO UTILIZE STRAW FOR EROSION CONTROL. 25. THE INTENT OF THE SHURB PLANTINGS ARE TO GROW INTO MASSES FOR SCREENING AND VISUAL INTEREST.

FRAMINGHAM PLANNING BOARD **DEFINITIVE DEVELOPMENT PLAN APPROVALS**

THIS ENDORSEMENT OF THE PLANNING BOARD SHOULD NOT BE CONSTRUED TO BE **DETERMINATION OF CONFORMANCE WITH** ZONING REGULATIONS.

Northside Meadows: Assisted Living Facility

518 Pleasant Street Framingham, Massachusetts

April 15, 2016 **Local Approvals**

Not Approved for Construction

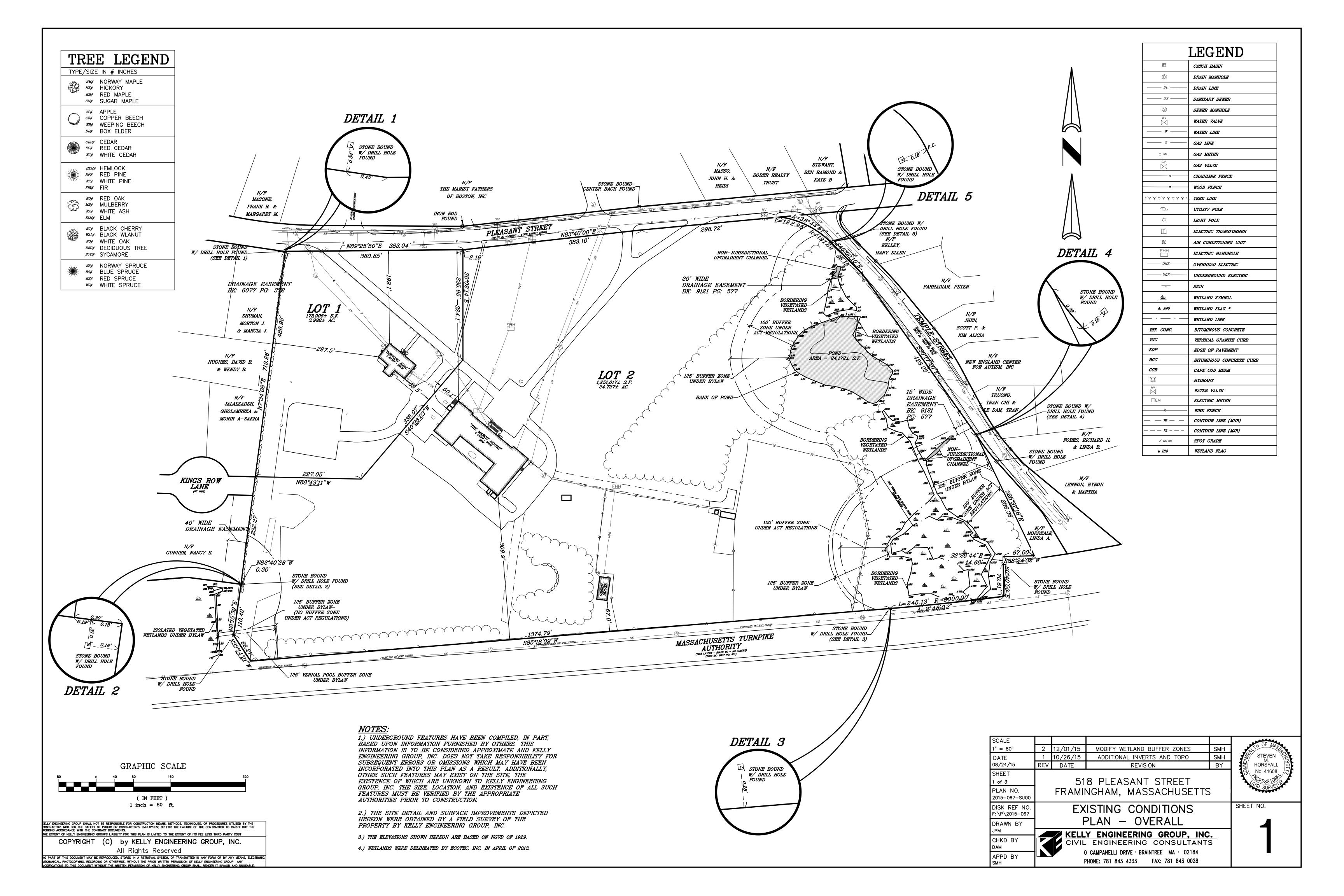
Planting Details

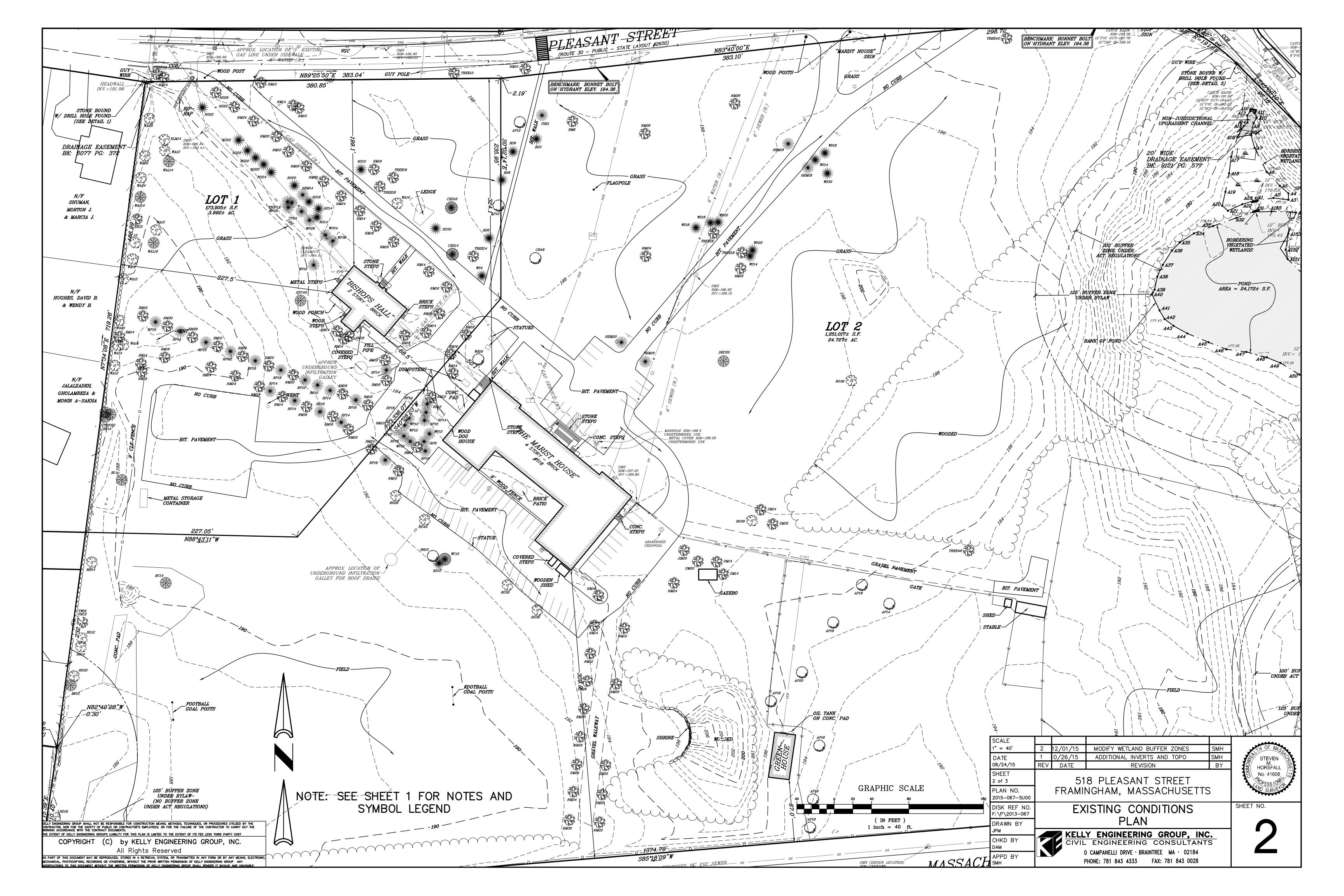
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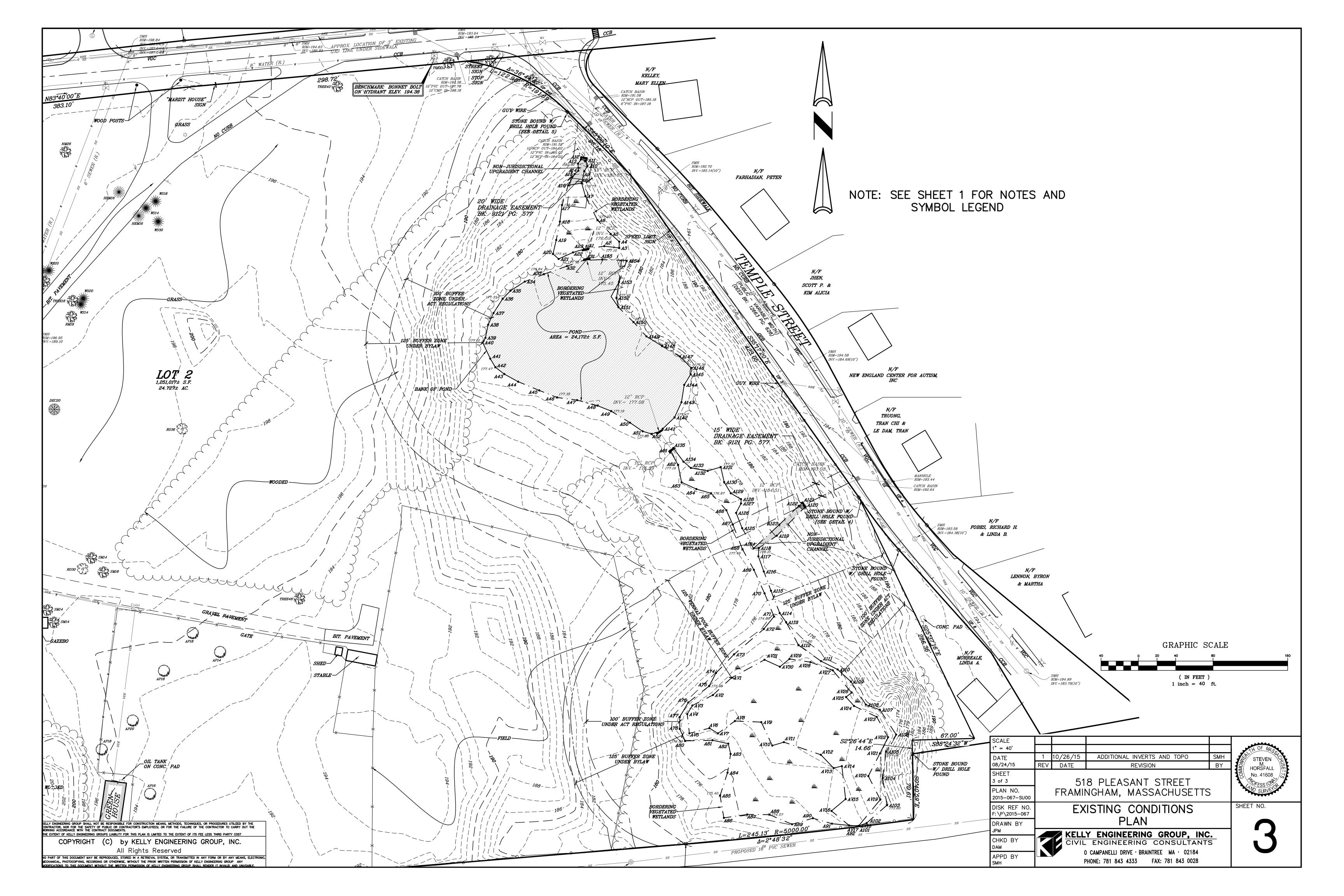
Tree Planting on Slope Source: VHB

DESIGN SLOPE-

N.T.S.







STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
COURTYARD	+	3.0 fc	17.3 fc	0.0 fc	N/A	N/A
OVERFLOW	×	0.1 fc	17.7 fc	0.0 fc	N/A	N/A
PARKING	+	1.5 fc	17.6 fc	0.0 fc	N / A	N / A
REAR ACCESS DRIVE	+	1.6 fc	6.9 fc	0.0 fc	N / A	N / A

0	DL	30	LITHONIA: REAL6C-D6-MW- ESL-1500L-35K- .95SC	6" LED DOWN	IIGHT	1500lm LED		Absolute	1.00	
0	В1	9	LITHONIA: KBD8- LED-16C-700-40K- SYM	BOLLARD SYI DISTRIBUTIOI		700ma / 1608lm	LED	Absolute	1.00	
STATIS	TICS									
Description			Symbol A	vg	Max	Min	Max/Min	,	Avg/Min	
COURTYAR	RD		+ 3.	0 fc 1	17.3 fc	0.0 fc	N/A		N/A	

2-70LA-6435-NW- OFF (MOUNTING: 16'-0") 350ma LED

3-70LA-6435-NW- OFF (MOUNTING: 16'-0") 350mA LED

GARDCO: GL13-1- TYPE III LED - FULL CUT-

GARDCO: GL13-1- TYPE IV LED - FULL CUT-P3 7 4-70LA-6435-NW- OFF (MOUNTING: 16'-0") 350mA LED Lumens LLF

Absolute 1.00

Absolute 1.00

Absolute 1.00

LUMINAIRE SCHEDULE

Symbol Label Qty Catalog Number

\$\frac{\partial_{0.0}}{\partial_{0.0}}}\$\frac{\partial_{0.0}}{\partial_{0.0}}\$\frac{\partial_{0.0}}{\partial_{0.0}}}\$\fra 5.0 5.0 5.0 5.0 5.0 5.0 5.0 5.1 5.1 5.2 1.4 7.0 10.7 5.4 5.2 1/2.2 · 5.0\ \$\do \phi/2 \phi/4 \D-7 \do \7.7 \| 5.2 \do 5.0 *\dots \dots **\dots \dots \dot \$ 1.5 \\dagger\cdot 1.1 \\dagger\cdot 1.5 \\dagger\cdot 1.6 \\dagger\cdot 5.0 \\dagg \$\bar{1.2}\$ \$\bar{1.5}\$ \$\bar{1.4}\$ \$\bar{1.0}\$ \$\bar *\dots \dots \dot <u>6.</u>∦ <mark>≯.2 ° 0.4 ° 0.2 ∥ 0.0 ° 0.</mark> *\dots \dots *\dot 0.0 \dot 0.0 \dot 0.0 \dot 0.0 \dot 0.0 \dot 0.1 \dot 0.1 \dot 0.5 \dot 0.1 \dot 0.1 \dot 0.5 \dot 0.1 \dot 0.1 \dot 0.5 \dot 0.5 \dot 0.5 \dot 0.1 \dot 0.5 \d 5.0 5.0 5.0 5.0 5.0 5.1 5.2 5.4 1.0 2.0 2.8 2.7 2.9 3.3 3.3 4.0 5.2 5.3 5.6 0.6 0.4 1.1 0.2 0.1 0.0 5.0 5.0 5.0 5.0 5.0 5.0 5.1 5.1 5.4 1.1 2.5 3.2 3.6 1.7 2.0 2.0 1.5 5.0 5.0 5.0 5.0 5.0 5.0 5.1 5.1 5.8 4.5 2.8 4.5 5.7 5.7 5.7 5.0 5.9 5.6 5. 8.0 8.0 8.0 8.0 8.0 8.0 8.1 8.3 0.5.7 9.2 9.8 8.7 p.3 8.2 70 14 11 1 ** 5.0 ** 5.0 ** 5.0 ** 5.0 ** 5.1 ** 5.8 ** *\tau_0 \tau_0 5.0 5.0 5.0 5.0 5.0 5.0 10.1 5.2 5.6 17 2.8 3.8 1.0 1.0 1.5 5.3 5.4 5.0 5.0 5.0 5.0 5.1</t <u>5.0</u> 5.3 5.9 1.8 2.8 2.7 5.6 5.0 5.0 5.0 5.0 5.0 5.0 0.8 1.7 1.8 1 5.1 5.0 5.0 5.0 5.0 5.0 **\dots \dots \dot 72.B11.6 01 08 2.1 1.9 7.1 57 0.2 5.0 5.0 5.0 5.0 5.0 5.0 5.0 5.0 5.0 5.0 5.0 5.1 52 5.4 5.3 5.8 5.5 5.2 5.1 5.0 5. 5.0 5.0 5.0 5.0 5.0 5.0 5.0 5.1 5.1 5.3 4.4 4.7 4/9 .o 5.o 5.o 5.o 5.o <u>5.o 5</u>.o 5.o <u>5.1 5.1 5.2 5.2 5.1 5.1 5.1</u> 5.4 2.1 1,8 5,4 5.0, 5.o 5.o 5.o 5.o 5.o 5.o 5.o 5.o \$\bullet\$ \bullet\$ \

SITE LIGHTING

SCALE: 1" = 40'-0"

*** \$\frac{1}{2}\$ \$\frac{1}{2}

\$ 1.0 \$ 0.0 \$ 0.

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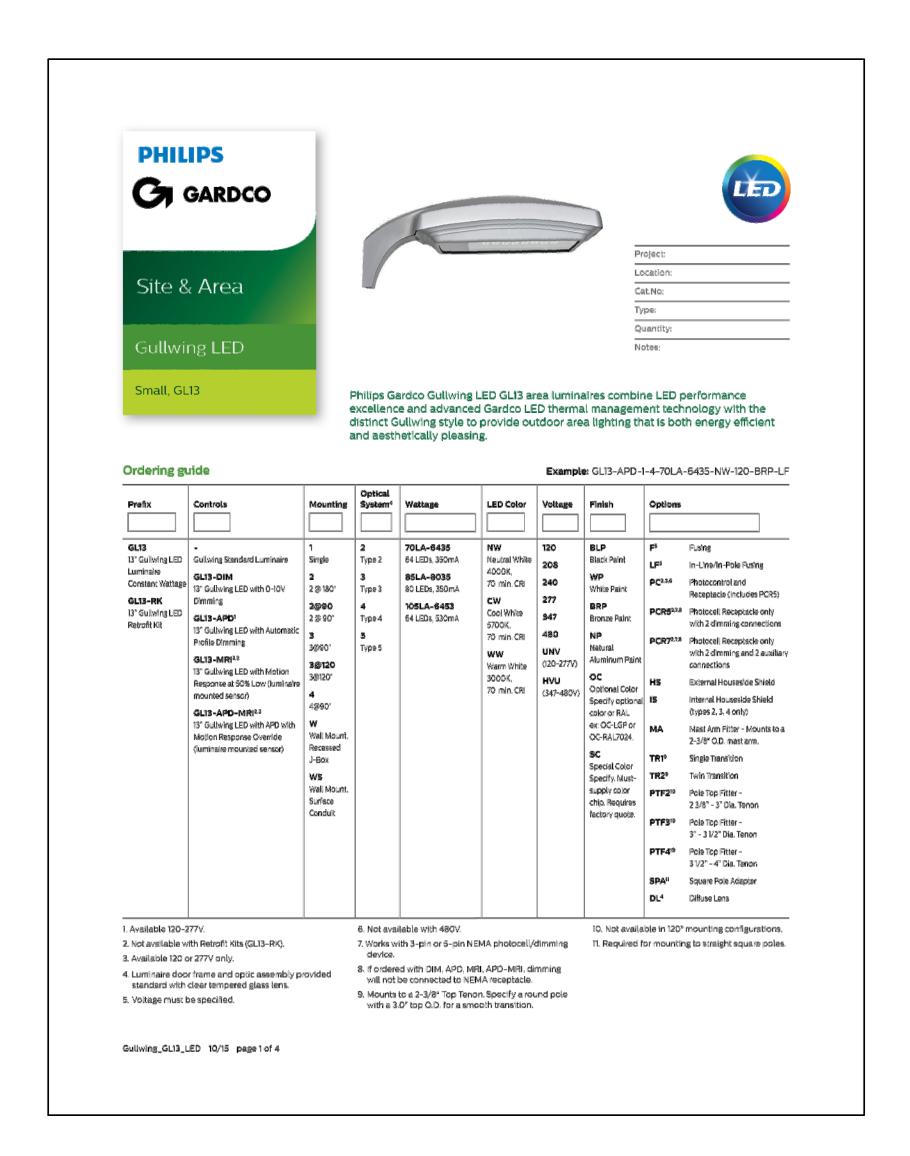
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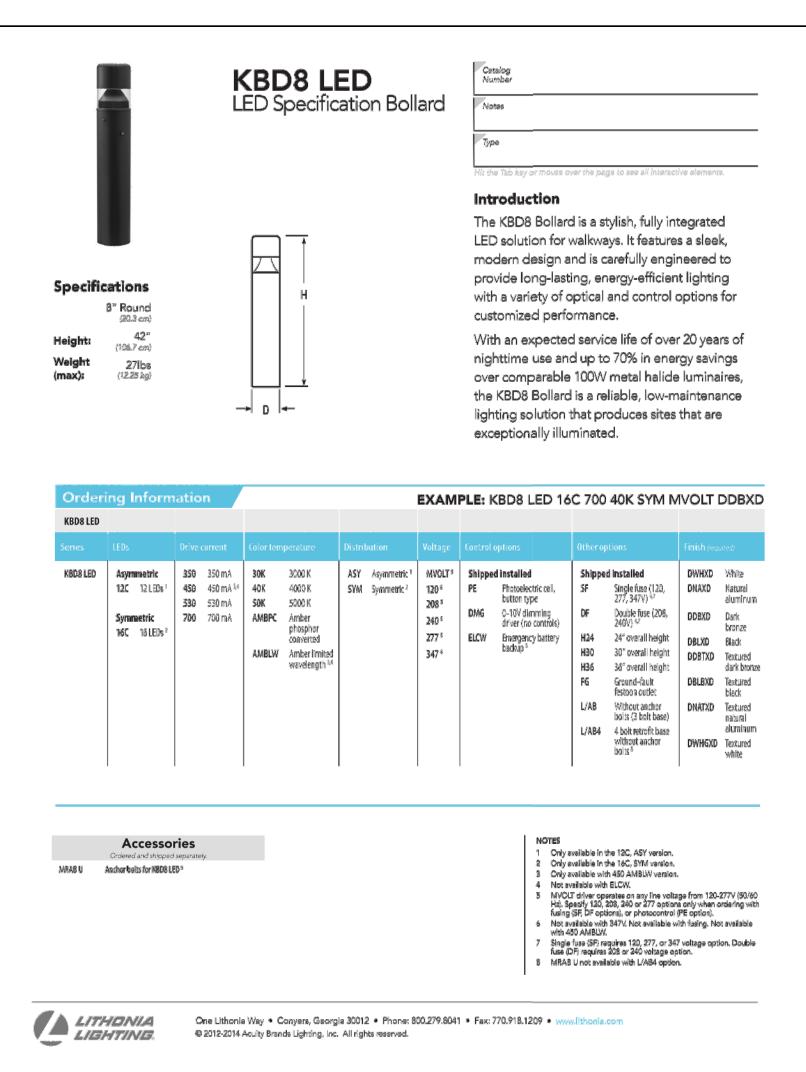
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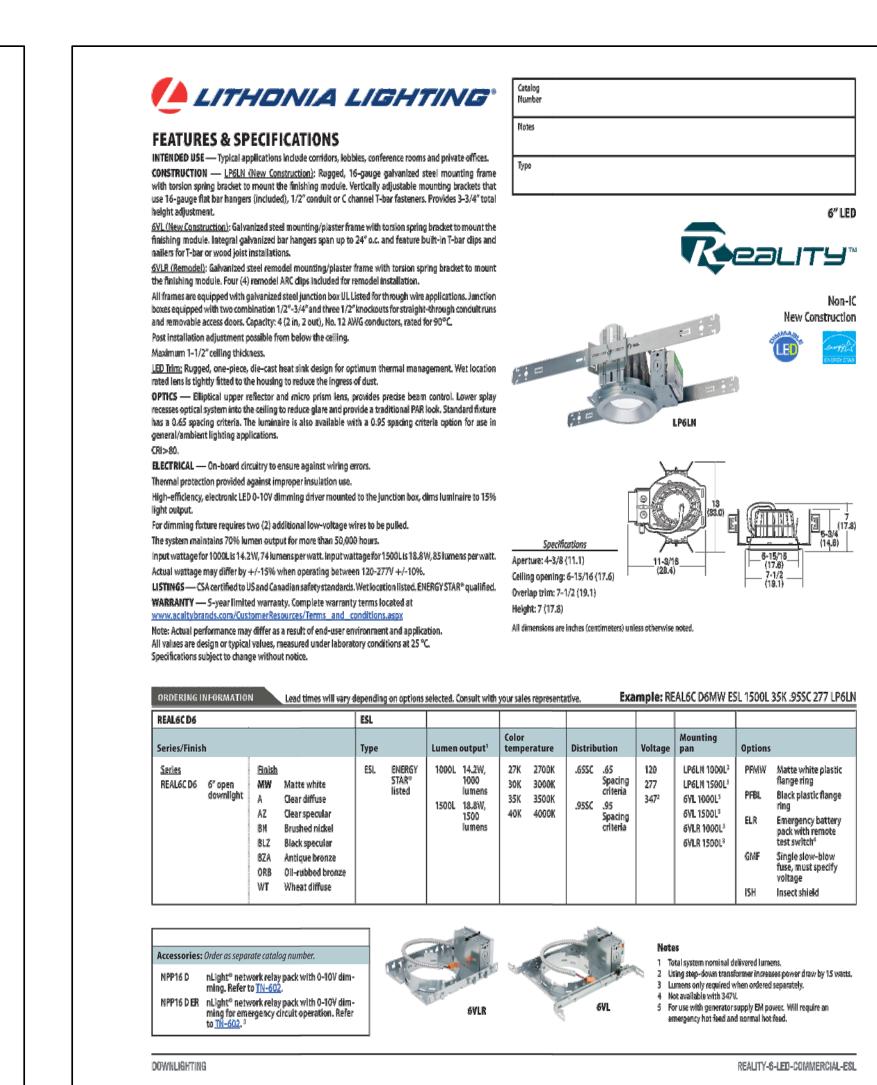
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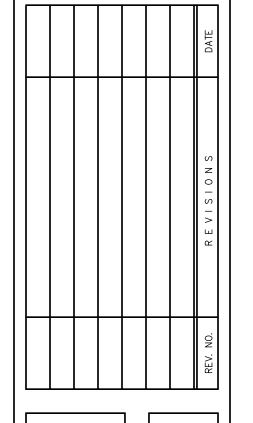
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SHEETS

SPECIFICATION

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| UDELSMAN | ASSOCIATES | ARCHITECTURE • PLANNING • DESIGN

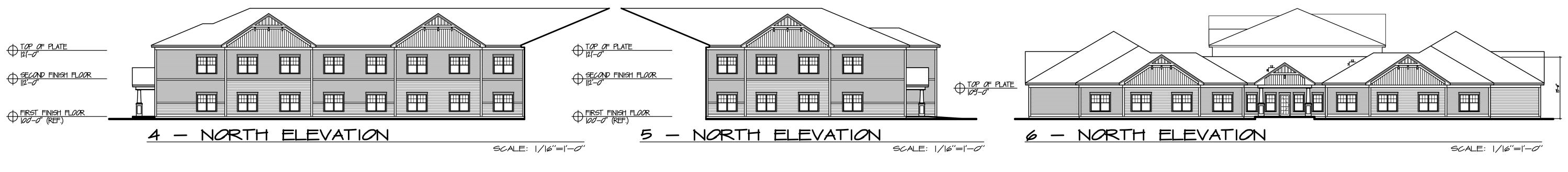
161 FEDERAL HILL ROAD HOLLIS, NEW HAMPSHIRE 03049 603 • 465 • 6960 FAX 465 • 6961

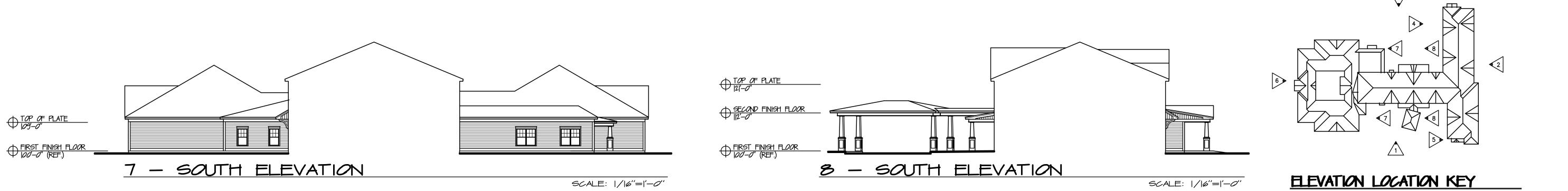
PROJECT NO.: 1525

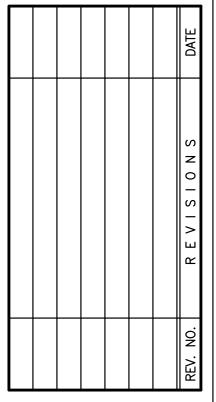












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LIVING
SENIOR IINGHAM
CHMARK S FRAMIN

BENCHMARK FRAMI	מטזמהשעה	EAIERIOR
FRAMINGHAM,	SUBJECT:	SCALE: $1/16$ "=1'-0"
- 6 7	_	

